



CITY OF SOMERVILLE, MASSACHUSETTS
MAYOR'S OFFICE OF STRATEGIC PLANNING & COMMUNITY DEVELOPMENT
KATJANA BALLANTYNE
MAYOR

THOMAS GALLIGANI
ACTING EXECUTIVE DIRECTOR

PLANNING DIVISION
HISTORIC PRESERVATION

**STEP 2: DETERMINATION OF PREFERABLY PRESERVED
STAFF REPORT**

Site: 12 Woodbine Street

Case: HPC.DMO 2022.23

Owner: 12 Woodbine, LLC

Applicant: North America Development, LLC /
Bruna Rossetti

Legal Ad: *The Applicant seeks to
demolish a principal structure constructed
a minimum of 75 years ago.*

HPC Meeting Date: October 6, 2022

Top: Front elevation

Bottom, left: Left elevation

Bottom, middle: Rear elevation



Bottom, right: Right elevation



The purpose of a staff report is to provide the Historic Preservation Commission (HPC) with additional information and professional assessments regarding properties that are proposed for demolition. These assessments are based on the criteria allowed for consideration by the HPC in accordance with the Demolition Review Ordinance (DRO). A Staff Report is not a determination/decision, nor does it constitute authorization in any form.

I. SUMMARY OF June 21, 2022 MEETING

At their regular public meeting on **June 21, 2022**, the HPC declared the structure at 12 Woodbine Street to be “Historically Significant”. Due to this determination, 12 Woodbine Street moved on to the second step in the demolition review process, which calls for the HPC to determine whether or not the building should be “Preferably Preserved”. A determination of “preferably preserved” does not permanently halt demolition of a building but imposes an 18-month delay.

II. SUBSEQUENT CONTINUANCE

After the June 21, 2022, HPC meeting, the Applicant requested a continuance to the September HPC meeting. However, the September HPC meeting needed to be postponed and was rescheduled to October 6, 2022, at which time 12 Woodbine Street has been rescheduled to be heard.

III. STRUCTURAL ENGINEER’S REPORT

On September 2, 2022, Preservation Planning Staff received a copy of a structural engineer’s report regarding 12 Woodbine Street.

Staff notes to the Commission that, as indicated in the engineer’s report, the structural engineer performed his assessment of the property on **June 28, 2022**, seven days *after* the building was declared “historically significant” by the HPC.

The structural engineer’s report assesses the building against modern building code and practices and does not offer suggestions for remedying the perceived problems with the (now half-demolished) structure. The structural engineer has not provided proof of documented experience and expertise in historic building techniques. Such proof is required by the Demolition Review Ordinance (DRO) as noted in the language below taken from chapter 7-28 Section 6(f)(1):

In the event that the applicant and/or owner seek to take a position that the building is of deficient structural integrity, the applicant shall submit an independent licensed structural engineer’s report, from a qualified and experienced structural engineer with proven expertise in historic building techniques.

Verbal statements of expertise in historic building techniques does not constitute proof. No such proof has been provided to Staff. Such proof must be provided to Staff well in advance of a scheduled HPC meeting. New information, including proof of expertise, cannot be presented to the Commission during a meeting.

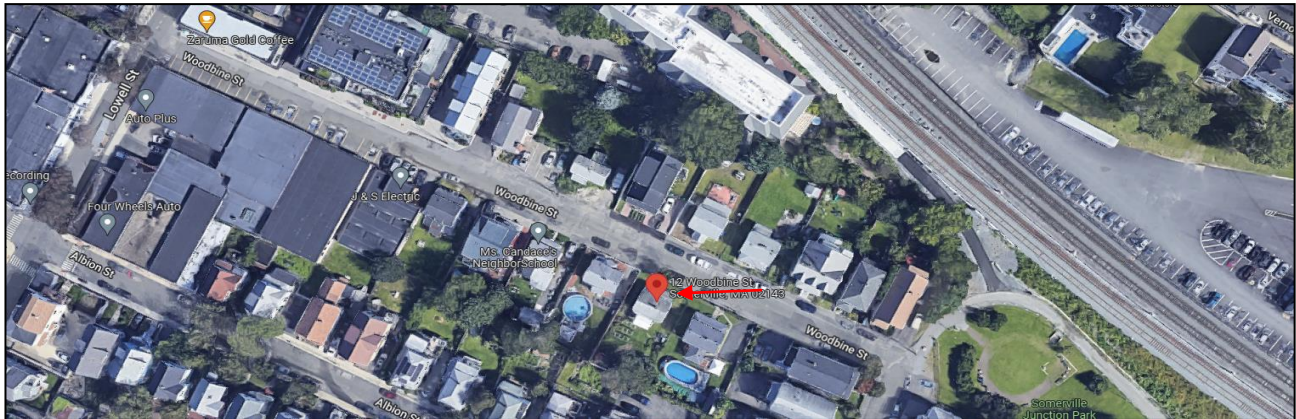
Perceived deficiencies in historic buildings can be remedied. Now that the applicant has removed large sections of the building, it would seem that the applicant team has the access and ability to more easily

remedy the perceived deficiencies in the structure, particularly with the help of building professionals who understand historic building techniques and support systems.

II. BUILDING UNDER CONSIDERATION

The structure at 12 Woodbine Street was a one and half story wood-framed cottage. The period of significance begins between 1874 and 1884. Please see the Staff Report on Historic Significance for the June 21, 2022, HPC meeting for information on the history of the property.

Below, aerial view of 12 Woodbine Street and immediate surroundings.



Prior to applying to the HPC for demolition review, the Applicant removed the front enclosed porch and rear portion of the building without permission. This unauthorized activity can be seen in the photos on the first page of this staff report. After the Applicant was notified by ISD that demolition review by the HPC was required, the Applicant began to submit their application documents. The Applicant was allowed to secure the house from the elements and secure the property.

Yet, while the Applicant was in the process of submitting their application materials for demolition review, the Applicant team, within a few short hours, proceeded to remove the roof structure and the entire second floor. The City was alerted to this unauthorized activity by the neighborhood. This was again done without authorization from the City. ISD visited the property again and issued a Stop Work Order.

(Continued on next page.)

Below are photos of 12 Woodbine prior to the commencement of demolition, followed by the current state of 12 Woodbine following the second bout of unauthorized demolition.

12 Woodbine prior to demolition:



Above: Front elevation prior to commencement of demolition.



Above: Right elevation prior to commencement of demolition.



Above: Left elevation prior to commencement of Demolition.



Above: Rear elevation prior to commencement of demo.

12 Woodbine after demolition:



Above: Demolition commences.



Above: Demolition in-progress.



Above: Demolition progress at about the time of the arrival of the building inspector who issued a Stop Work Order.

III. ADDITIONAL INFORMATION

Preservation Planning has not uncovered any additional information about inhabitants of the priority in the intervening weeks since the Historic Significance vote.

To see the historic maps and research regarding the building at 12 Woodbine Street and a general history of the area, see the June 21, 2022, staff report on Historic Significance.

IV. DETERMINATION

The HPC must determine one of the following for the structure at 12 Woodbine Street:

- a. That the building is Preferably Preserved.
- b. That the building is not Preferably Preserved.
- c. That the building is not Preferably Preserved *with Conditions*.

See the following section V “Findings” for guidance

V. FINDINGS

The HPC need to make a determination of whether the structure is to be preferably preserved and adopt findings.

a. Preferably Preserved

For a determination of *preferably preserved*, the HPC must make the following finding:

- *That the demolition of the structure at 12 Woodbine Street would be detrimental to the architectural, cultural, political, economic, or social heritage of the City.*

If the HPC makes the above finding, the Commission must state their reasons why they take their position.

b. Not Preferably Preserved

If the HPC makes the above finding, the Commission must state their reasons why they take their position.

c. Not Preferably Preserved with Conditions

For a determination of *NOT preferably preserved with Conditions*, the HPC must make the following finding:

- *That the structure at 12 Woodbine Street do not meet any of the criteria to be “preferably preserved.”. The HPC may add any or all of the following as conditions to this determination:*
 - 1. photographic documentation of the building to be demolished;*
 - 2. architectural renderings of the building to be demolished;*
 - 3. identification of materials for salvage of material; and/or,*
 - 4. a plan for installation of historic or interpretive signage at or near the site.*

If the HPC makes the above finding, the HPC must state their reasons why they take this position. Should the HPC choose option “c”, the HPC may also add additional conditions to those listed above.

VI. VOTE

When bringing the matter to a vote, the HPC must include the reasons why the structure at *12 Woodbine Street* is or is not “preferably preserved”.

ROOME & GUARRACINO, LLC

Consulting Structural Engineers

300 Trade Center-Suite 3540

Woburn, MA 01801

Tel: 617.628.1700 Fax: 617.628.1711

August 31, 2022

Ms. Bruna Rossetti
12 Woodbine, LLC
93 Broadway
Somerville, MA 02145

Reference: 12 Woodbine Street
Somerville, MA

Subject: June 28th, 2022 Structural Review

Dear Bruna:

This letter confirms my visit to the above referenced address at your request to perform a structural review of the existing building structure and foundations for the single-family residential house.

The house is a two-story wood framed building with a basement built in 1900. The review took place from outside and inside. Portions of the finishes were also removed to verify existing framing sizes and conditions. I proceeded onto the property and immediately noted that the building has shifted laterally and the main roof has noticeable sags. Along the sides of the exterior foundation walls which project above grade, I noted an inward movement into the basement.

I proceeded inside the house and into the basement I noted the foundation walls to consist of loose laid stones with mortar that is deteriorating. I went to the side area of the wall where I noted the inward movement from outside and noted a large inward "bulge" of the stone wall. The same holds true for the opposite side where a large inward "bulge" is noted in the foundation wall. This condition is prevalent throughout the basement. The mortar joints have deteriorated between the stones and there are areas where the masonry itself has deteriorated beyond re-pointing.

Areas of the house were exposed to view and the first floor framing viewed from the basement is visible. A general review of the exposed first floor framing revealed many deficient conditions, including joists pulling away from the sills and unsupported, undersized framing, such as a main timber beam 6x8 spanning over 12 feet onto timber columns. This size timber beam for size and span is inadequate and does not meet the minimum code requirements per the Massachusetts State Building Code. Randomly placed additional columns with timber beams to shore areas, which have dropped and evidence of moisture and deterioration in the wood framing itself.

A walk through the floors upstairs showed many areas that are sagging and appeared to be "bouncy" when walking. Roof rafters were noted to be undersized as evidenced by the sagging viewed from outside. An area of roof was exposed and noted the framing to be 2x5 timbers at 22" to 28" o.c. These rafter sizes are not adequate and do not meet the minimum standards per the Massachusetts Building Code. The rear deck is weathered and in very poor condition.

Conclusions & Recommendations

The overall condition of the foundation walls viewed on site are in very poor condition and are unstable due to the amount of movement viewed. The areas of the foundation walls which have "bowed" inward below the first floor is more than likely the result of moisture penetration and freeze thaw cycles which could cause the stones to displace. The first floor framing in my opinion is also in very poor structural condition. The roof is also undersized and has deflected excessively. The rear exterior deck and porch is unsafe and should not be used.

Given the above noted conditions it is my professional opinion that the house should not be occupied, especially given the failed foundation walls, which could collapse at anytime without warning. The house has exceeded its life expectance and it is clear to me that no maintenance or repairs were ever made to the structure. **It is my professional opinion that the house be "razed" to eliminate the danger of a possible collapse, which could endanger people and/or adjacent buildings.**

Should you have any questions or require further assistance, please feel free to call me.

Very Truly Yours,
ROOME & GUARRACINO, LLC



Carmine Guarracino, P.E.
Principal

BUILDING PERMIT: 12 WOODBINE STREET

SOMERVILLE, MA 02143

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS.
2. THE DRAWINGS SHALL BE WORKED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF CHANGES IN DIMENSIONS OR CONDITIONS.
4. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES OF EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS.
5. THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS, AND AGENCY APPROVALS TO THE OWNER.
6. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION.
7. ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING/RESIDENTIAL CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT.
8. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR: THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, MEANS AND METHODS OF CONSTRUCTION, AND SAFETY AND SECURITY ON SITE.
10. CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED.
11. THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK.
12. THE EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION.
13. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING THE PROJECT OR THE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS.
15. DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD-VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING OR COMMENCING THE WORK.
16. DETAILS ARE INTENDED TO SHOW METHODS AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATION MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
17. THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH THE EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
18. UNLESS ITEMS, MATERIALS, EQUIPMENT, OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED BY THE CONTRACTOR UNDER THIS CONTRACT.
19. ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.
20. MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE ARCHITECT.
21. THE CONTRACTOR SHALL PERFORM TESTS AT HIS/HER OWN EXPENSE, AS NECESSARY OR AS REQUIRED BY ANY INSPECTION AGENCY. TESTS SHALL BE MADE TO VERIFY WHETHER THE SYSTEM OR COMPONENTS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN WORKING ORDER.
22. THE CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
2. THE DEMOLITION PLANS ARE DERIVED FROM EXISTING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS.
3. DEMOLITION NOTES ON THE DRAWINGS IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE DIMENSION OF ALL COMPONENTS TO BE DEMOLISHED.
5. CONTRACTOR SHALL NOTIFY 'DIG-SAFE' PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
6. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF MATERIALS TO BE DEMOLISHED. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
8. REMOVE FROM THE JOBSITE, AS SOON AS PRACTICAL, DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
9. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
10. REMOVE ONLY NON-LOAD-BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS (I.E. BEARING WALLS, BEAMS, HEADERS, ETC.) SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD-BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
11. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY SHORING ASSOCIATED WITH ANY DEMOLITION WORK.
13. CONTRACTOR SHALL COORDINATE EXISTING UTILITY DEMOLITION AND CREATING ANY NEW TEMPORARY SERVICE FOR TEMPORARY-USE ITEMS.
14. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, AND RAILS. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN: COLOR, TEXTURE, THICKNESS, AND CUT TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED - TO BE APPROVED BY ARCHITECT AND OWNER.
15. PATCH EXISTING WALLS, GYPSUM BOARD, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPACKLING, SANDED, AND LEFT IN A PAINT-READY CONDITION.



LIST OF SYMBOLS

- EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED
- EXISTING STRUCTURE OR PARTITION TO REMAIN
- NEW STRUCTURE OR PARTITION
- 1-HOUR RATED ASSEMBLY
- FINISH ELEVATION
- ROOM TAG
- GENERAL DETAIL
- WALL SECTION
- INTERIOR ELEVATION
- FINISH TAG
- DOOR IDENTIFICATION SYMBOL
- WALL TYPE TAG
- WINDOW IDENTIFICATION SYMBOL
- FLOOR FINISH SYMBOL
- DUPLEX OUTLET
- GROUND FAULT OUTLET
- CAT 5/COAX/DATA
- CARBON MONOXIDE DETECTOR
- SMOKE ALAM

ABBREVIATIONS

- AFF ABOVE FINISHED FOOR
- CJ CONTROL JOINT
- CLG CEILING
- CLR CLEAR
- CO CLEAN OUT
- COL COLUMN
- CONC CONCRETE
- CONT CONTINUOUS
- DN DOWN
- EJ EXPANSION JOINT
- EL ELEVATION
- ELEC ELECTRICAL
- EQ EQUAL
- EXIST EXISTING
- FC FLURRING CHANNEL
- FD FLOOR DRAIN
- FIN FINISH
- FL FLOOR
- GL GLASS
- GWB GYPSUM WALLBOARD
- HT HEIGHT
- HDWD HARDWOOD
- HVAC HEATING VENTILATION AND AIR CONDITIONING
- INSUL INSULATION
- MAX MAXIMUM
- MFR MANUFACTURER
- MIN MINIMUM
- MO MASONRY OPENING
- MTL METAL
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- OC ON CENTER
- PLAM PLASTIC LAMINATE
- PLYWD PLYWOOD
- PTD PAINTED
- REQD REQUIRED
- RL RAIN LEADER
- RTS REFER TO SCHEDULE
- STL STEEL
- STR STRUCTURE/STRUCTURAL
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- VCT VINYL COMPOSITION TILE
- WD WOOD
- W/ WITH
- WINDW WINDOW

SITE LOCATION



CONTACTS

- ARCHITECT**
Anderson Porter Design
1972 Massachusetts Ave, 4th Floor
Cambridge MA 02139
Dan Anderson
617.354.2501
- CIVIL**
Spruhan Engineering, P.C.
80 Jewett Street, Suite 2
Newton MA 02458
Edmond Spruhan
617.816.0722
- STRUCTURAL**
Forest Structural Engineering
231 W. Newton Street, #1
Boston, MA 02116
Scott Forest
617.447.8030
- BUILDER**
North America Development, LLC
93 Broadway
Somerville, MA 02145
Jason Santana
617.899.0300

DRAWING LIST

- GENERAL**
G0.1 COVER SHEET
- STRUCTURAL**
S100 FRAMING PLANS
S101 FRAMING PLANS
S102 FRAMING PLANS
- ZONING**
Z1.1 ZONING COMPLIANCE
Z1.2 ZONING COMPLIANCE
Z1.3 ZONING COMPLIANCE
- LANDSCAPE**
L-1 SITE LANDSCAPE PLAN
- CIVIL**
C-1 EXIST. FLOOR PLANS
C-2 EXIST. FLOOR PLANS
C-3 EXIST. ELEVATIONS
C-4 EXIST. ELEVATIONS
- ARCHITECTURAL**
AX1.1 EXIST. FLOOR PLANS
AX1.2 EXIST. FLOOR PLANS
AX2.1 EXISTING ELEVATIONS
ARCHITECTURAL DEMO
AD1.1 DEMO FLOOR PLANS
AD1.2 DEMO FLOOR PLANS
- FOUNDATION**
A1.0 FOUNDATION PLAN
A1.1 PROPOSED FLOOR PLANS
A1.2 PROPOSED FLOOR PLANS
A1.3 PROPOSED ROOF PLAN
A2.1 PROPOSED ELEVATIONS
A2.2 PROPOSED ELEVATIONS
A3.1 PROPOSED SECTIONS
A3.2 SCHEDULES AND DETAILS
A5.1 DETAILS CONT.
A5.2 DETAILS CONT.
A5.3 REFLECTED CEILING PLANS
A8.1 REFLECTED CEILING PLANS
A8.2 REFLECTED CEILING PLANS

ZONING SUMMARY (CODE REFERENCE: IRC 2015; EBC 2015; MASSACHUSETTS STATE BUILDING CODE 780 CMR 9TH EDITION, RESIDENTIAL CODE AMENDMENTS)

PROPERTY ADDRESS:	12 WOODBINE ST SOMERVILLE, MA 02143
ZONING DISTRICT:	NEIGHBORHOOD RESIDENCE (NR)
PROJECT DESCRIPTION:	RENOVATION AND ADDITION TO EXISTING ONE-FAMILY STRUCTURE
CHAPTER 3 - BUILDING PLANNING	SECTION 316
SECTION R302 FIRE-RESISTANT CONSTRUCTION	FOAM PLASTIC
R302.3 Dwelling units shall be separated by a 1-hour fire-resistance rated wall. Enclosed space under stairs that is accessed by door or access panel shall be covered with 1/2" gypsum board.	GC shall verify that any form plastics used shall comply with code. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS AGAINST DECAY
R302.11 Fireblocking shall be provided per code.	GC shall verify that construction complies with code.
SECTION R303 LIGHT, VENTILATION AND HEATING	SECTION 317
R303.3 Mechanical ventilation shall be provided.	PROTECTION AGAINST SUBTERRANEAN TERMITES
R303.10 Dwelling units shall be provided with required heating.	GC shall verify that construction complies with code.
SECTION R304 MINIMUM ROOM AREAS	SECTION 318
R304.2 All habitable room areas shall comply with code.	SITE ADDRESS
SECTION 305 CEILING HEIGHT	Both units shall be provided with address identification that complies with code.
R305.1 Ceiling heights shall be equal to, or greater than, minimum requirements.	SECTION 319
SECTION 306 SANITATION	ACCESSIBILITY
Toilet fixtures, kitchens, sewage disposal, and water supply to fixtures shall be provided.	This section is not applicable to the proposed design.
SECTION 307 TOILET, BATH AND SHOWER SPACES	SECTION 320
Toilet, baths, and showers spaces shall comply with code.	ELEVATORS AND PLATFORM LIFTS
SECTION 308 GLAZING	SECTION 321
All glazing shall comply with code.	FLOOD-RESISTANT CONSTRUCTION
SECTION 309 GARAGES AND CARPORTS	The basement shall be constructed to anticipate the estimated seasonal high ground water level.
This section of the code is not applicable to the proposed design.	SECTION 322
SECTION 310 EMERGENCY ESCAPE AND RESCUE OPENINGS	SECTION 323
R310.2.1 Emergency and escape rescue openings shall have net clear openings that comply with code.	STORM SHELTERS
SECTION 311 MEANS OF EGRESS	This section is not applicable to the proposed design.
R311.1 Each dwelling unit shall be provided with a primary and secondary means of egress with clear widths that comply with code.	SECTION 324
R311.2.1 All interior doors shall have nominal widths and heights that comply with code.	SOLAR ENERGY SYSTEMS
R311.7.5.1-2 Riser treads shall not be more than 81/4". Tread depths shall not be less than 9". Riser treads shall have a minimum tread depth of 3" at any point.	SECTION 325
SECTION 312 GUARDS AND WINDOW FALL PROTECTION	MEZZANINES
R312.2 Guard locations and heights, and window openings and fall protections shall comply with code.	This section is not applicable to the proposed design.
SECTION 313 AUTOMATIC FIRE SPRINKLER SYSTEMS	SECTION 326
R313.2 The proposed design does not have an aggregate area greater than 14,400 square feet.	SWIMMING POOLS, SPAS AND HOT TUBS
SECTION R314 SMOKE ALARMS	SECTION 327
R314.3 Smoke alarms shall be provided and located as required.	STATIONARY STORAGE BATTERY SYSTEMS
SECTION 315 CARBON MONOXIDE ALARMS	This section is not applicable to the proposed design.
R315.3 Carbon monoxide alarms shall be provided and located as required.	CHAPTER 4 - FOUNDATIONS
	GC shall verify that construction complies with code.
	CHAPTER 5 - FLOORS
	GC shall verify that construction complies with code.
	CHAPTER 6 - WALL CONSTRUCTION
	GC shall verify that construction complies with code.
	CHAPTER 7 - WALL COVERINGS
	GC shall verify that construction complies with code.
	CHAPTER 8 - ROOF/CEILING CONSTRUCTION
	GC shall verify that construction complies with code.
	CHAPTER 9 - ROOF ASSEMBLIES
	GC shall verify that construction complies with code.
	CHAPTER 10 - CHIMNEY AND FIREPLACES
	GC shall verify that construction complies with code.
	CHAPTER 11 - ENERGY EFFICIENCY
	N1101.1 GC shall use the energy efficiency requirements of 780 CMR 110 Appendix AA.
	AA104 The proposed design is the alteration, renovation, addition, and repair of an existing building.

ANDERSON
PORTER
DESIGN

PERMIT SET

REVISIONS		
No.	Description	Date

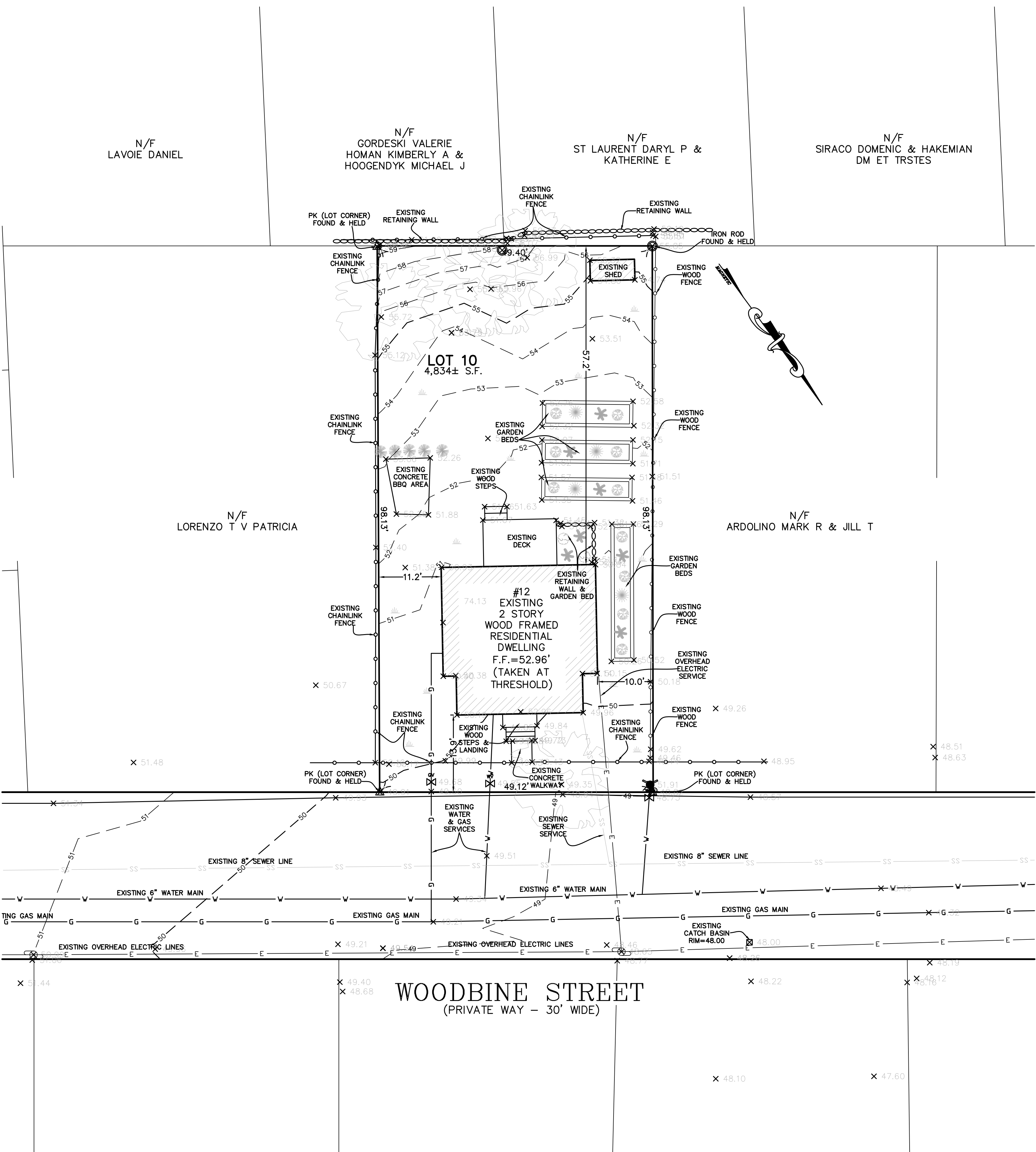


AndersonPorterDesign
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Tel. 617.354.2501 Fax. 617.354.2509

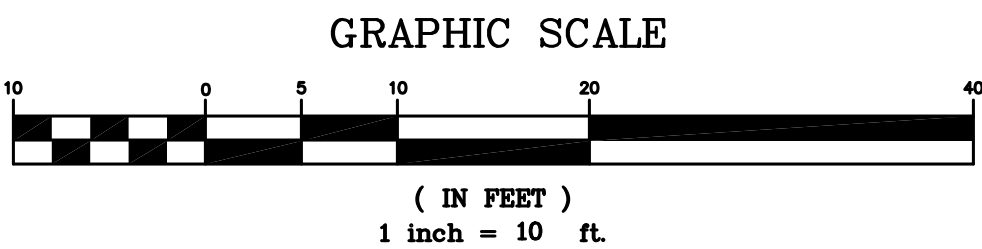
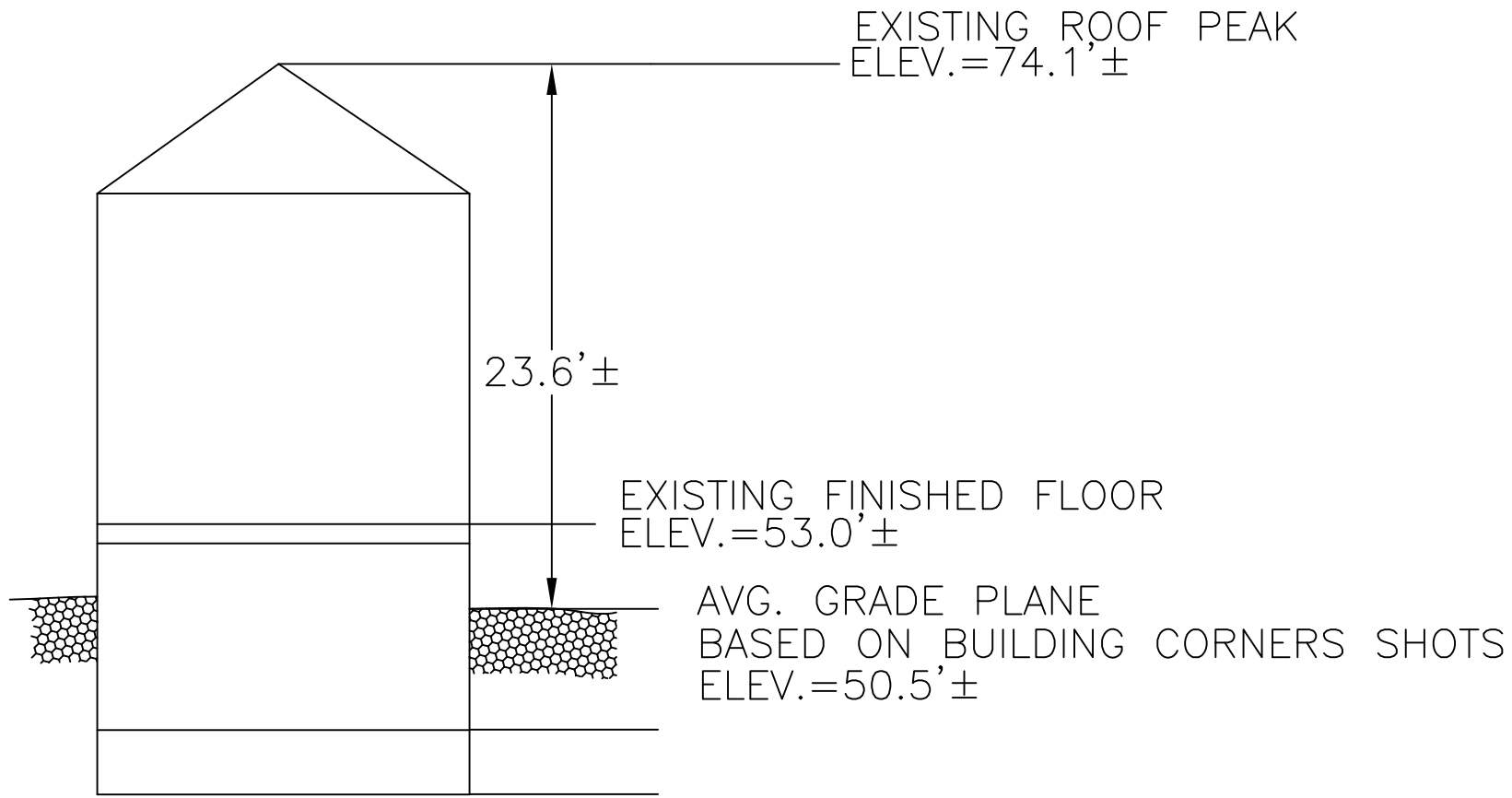
Project:	12 WOODBINE
Address:	12 WOODBINE ST SOMERVILLE, MA 02143
Title:	COVER SHEET
Drawing Issued By:	ANDERSON PORTER DESIGN
Project #:	2111
Date:	2021.11.10
Scale:	As indicated
Drawn by:	GA

G0.1

EXISTING LEGEND	
SS	SEWER LINE
⊙	SEWER MANHOLE
W	WATER LINE
G	GAS LINE
⌂	UTILITY POLE
SV	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
WV	WATER VALVE
□	CATCH BASIN
—○—	FENCE
—205—	CONTOUR LINE (MJR)
—195—	CONTOUR LINE (MNR)
X	SPOT GRADE
⊕	DRAIN MANHOLE
⌂	HYDRANT
⊙	TREE



- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 07/15/2021.
 2. DEED REFERENCE: BOOK 67730 PAGE 46, PLAN REFERENCE: BOOK 295 PLAN 40, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0438E, PANEL NUMBER 0438E, COMMUNITY NUMBER: 250214, DATED JUNE 4, 2010.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 8. ZONING DISTRICT = N.R.



PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.

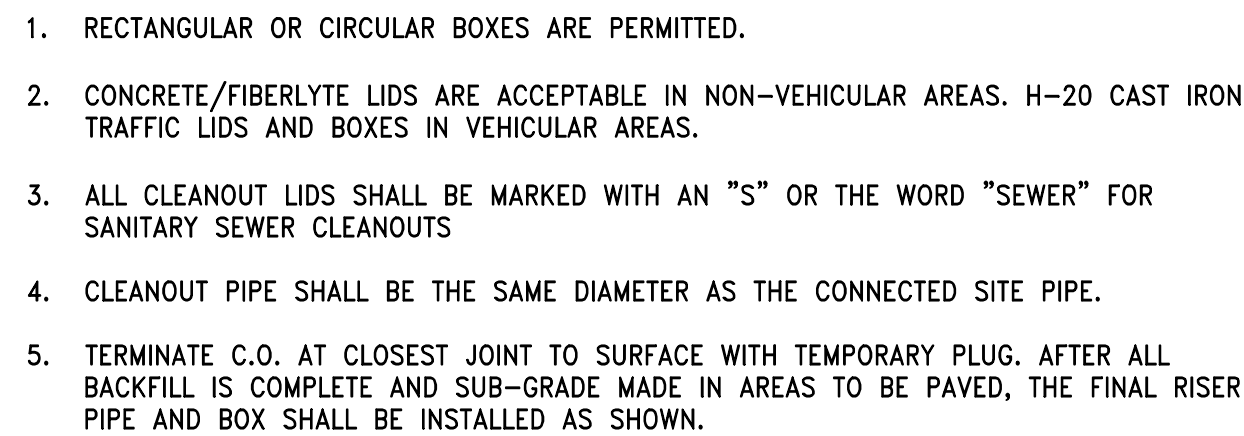
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SCALE	1"=10'			
DATE	07/22/2021	REV	DATE	REVISION
SHEET	1			
PLAN NO.	1 OF 1			
CLIENT:	12 WOODBINE STREET SOMERVILLE MASSACHUSETTS			
DRAWN BY	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS			
CHKD BY	PJN			
APPD BY	PJN			
	697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com			
				SHEET NO. 1



1. ENTIRE SYSTEM SHALL BE ENCASED IN FILTER FABRIC.
2. LOCATION OF SYSTEM PER PLANS.
3. DESIGN ENGINEER WILL INSPECT AND CERTIFY IN WRITING THAT ALL DRAINAGE WORK WAS INSTALLED IN ACCORDANCE WITH APPROVED PLANS. CONTRACTOR TO NOTIFY ENGINEER AT LEAST 72 HOURS IN ADVANCE FOR DRAINAGE SYSTEM INSPECTION PRIOR TO BACKFILLING.



CLEANOUT TO GRADE
NTS



12 WOODBINE ST,
SOMERVILLE,
MASSACHUSETTS.

CIVIL PLAN

REVISION BLOCK

[illegible]

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DATE:	10/26/2021
DRAWN BY:	G.P
CHECKED BY:	E.S
APPROVED BY:	P.N

CIVIL PLAN

SHEET 2 OF 3

EROSION CONTROL NOTES

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL WORK WITH THE PROJECT'S ENGINEER THROUGHOUT CONSTRUCTION TO ENSURE THE SITE IS PROPERLY PROTECTED FROM POSSIBLE POLLUTANTS. THE ENGINEER HAS AUTHORIZATION TO ADD OR REMOVE BMP MEASURES THROUGHOUT CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
3. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
4. AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE CONTRACTOR SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
5. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
6. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING.
7. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
8. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
9. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
11. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED.

CONSTRUCTION MATERIALS

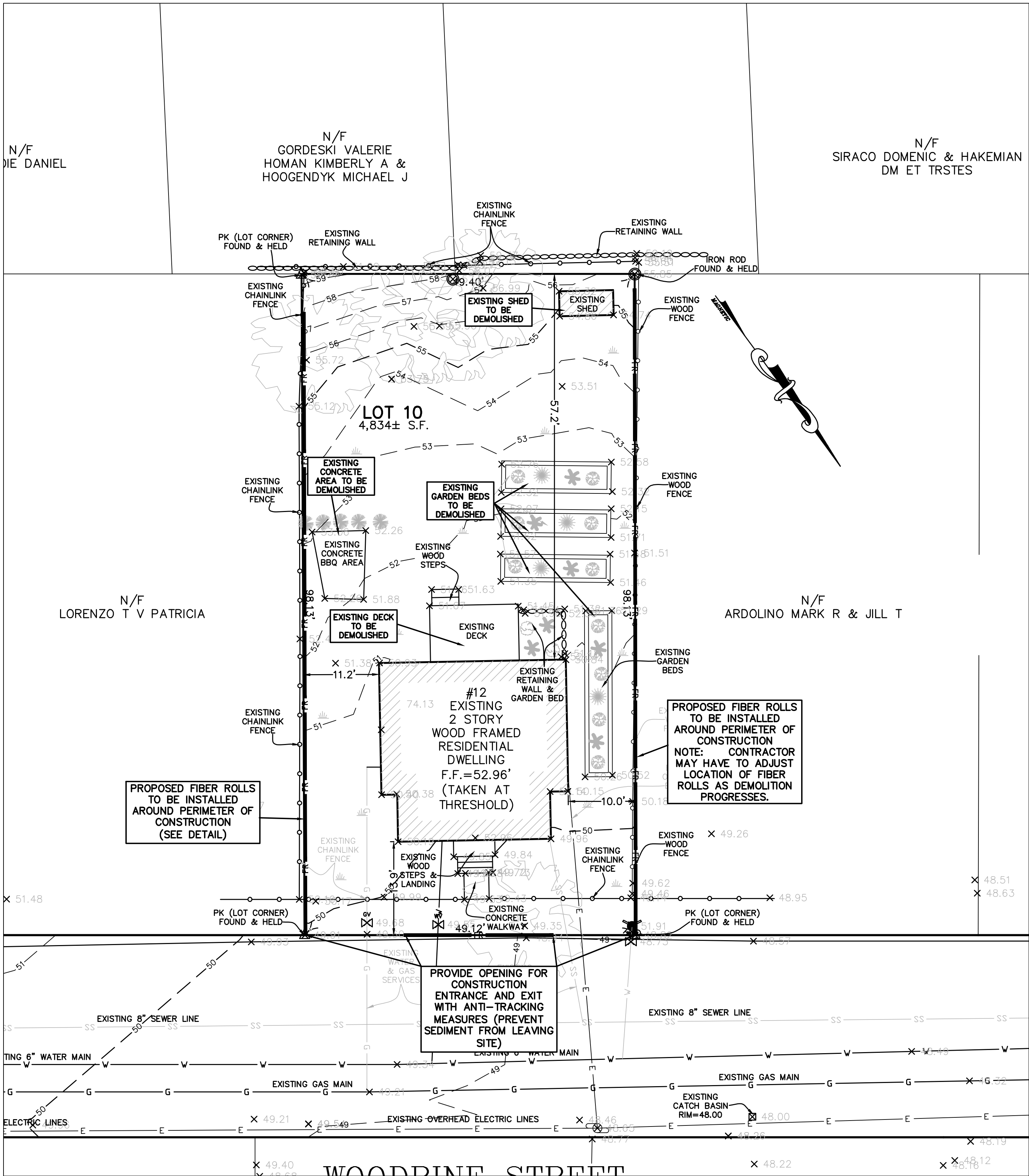
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PEROUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND

- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

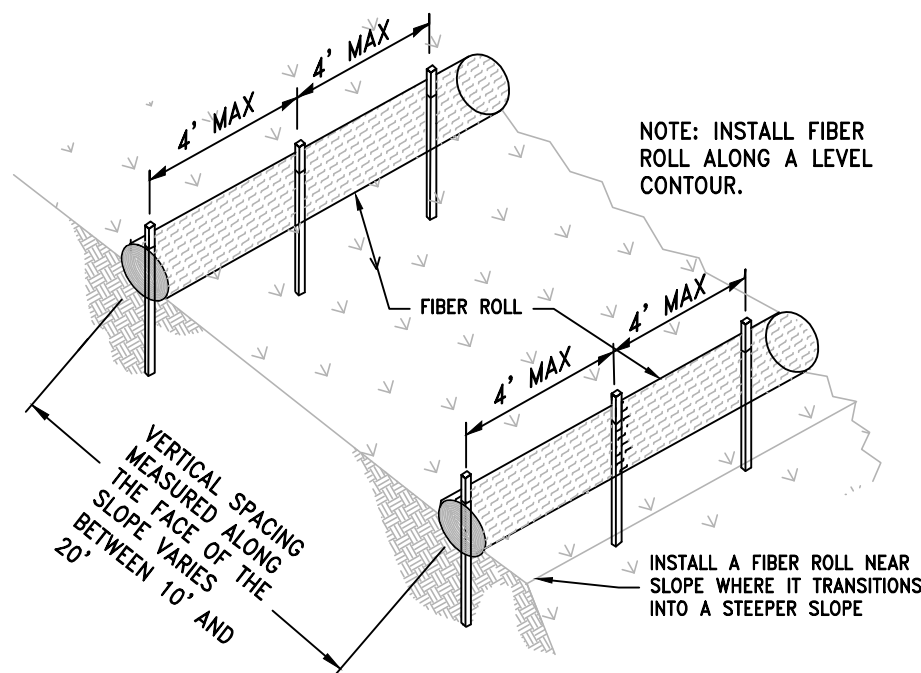


VEHICLE STORAGE AND MAINTENANCE

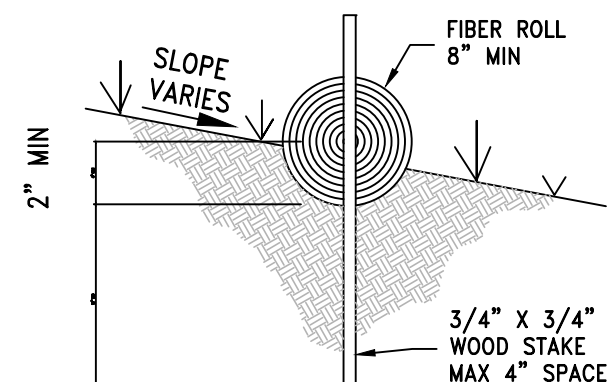
- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



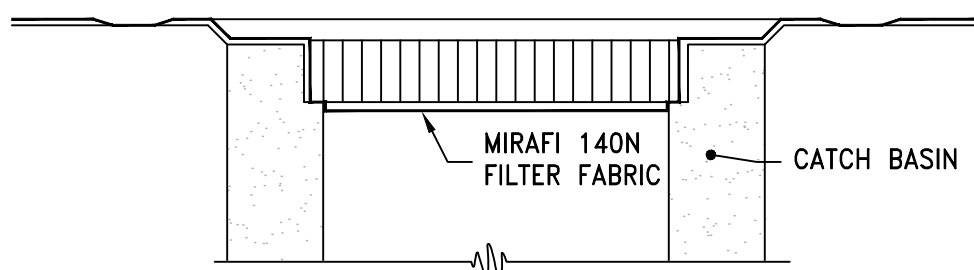
TYPICAL INSTALLATION



ENTRENCHMENT DETAIL

FIBER ROLLS

NTS



CATCH BASIN PROTECTION

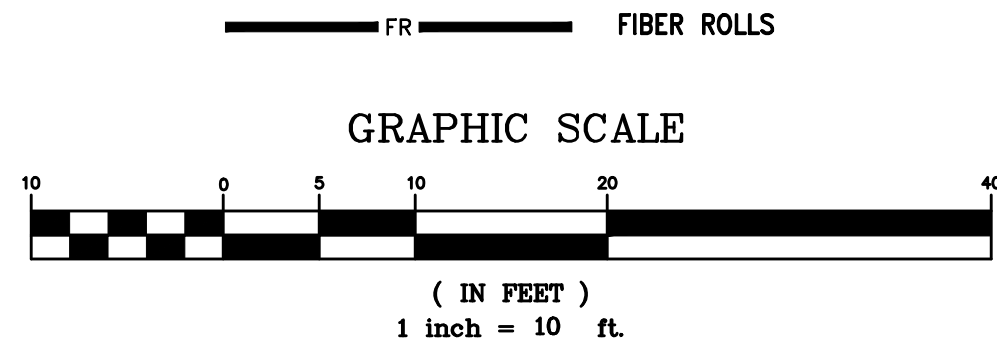
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FIBER ROLL CONSTRUCTION SPECIFICATIONS

1. PREPARE SLOPE BEFORE THE WATTLING PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE WATTLES IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE WATTLE. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE WATTLE 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT WATTLES ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL WATTLES FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART, DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE WATTLE ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE. USE A STRAIGHT BARK TO DRIVE HOLES THROUGH THE WATTLE AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE WATTLE. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. USE WATTLES EVERY FOUR TO EIGHT FEET APART THROUGH WATTLE. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSION OR VERY STEEP SLOPES.

FIBER ROLL INSTALLATION AND MAINTENANCE

8. INSPECT THE STRAW WATTLE AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE WATTLES ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.



SPRUHAN
ENGINEERING, P.C.

80 JEWETT ST, (SUITE 2)
NEWTON MA 02458

Tel: 617-816-0722
Email: edmond@spruhaneng.com



12 WOODBINE ST,
SOMERVILLE,
MASSACHUSETTS.

CIVIL PLAN

REVISION BLOCK

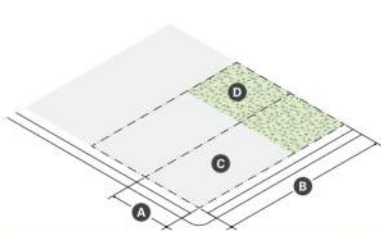
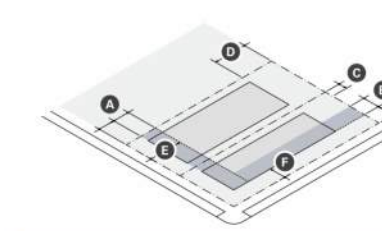
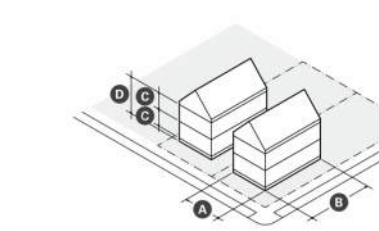

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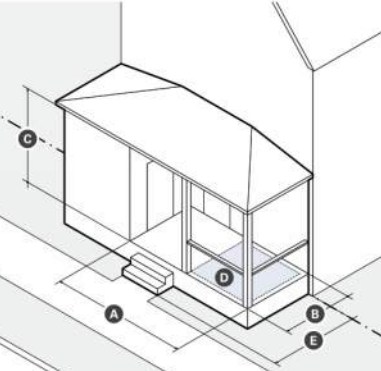
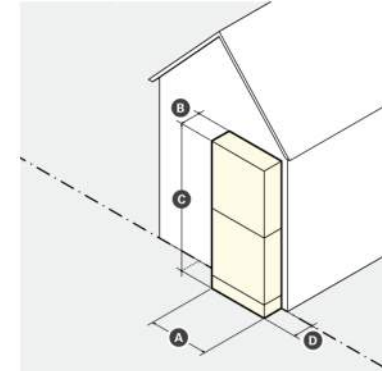
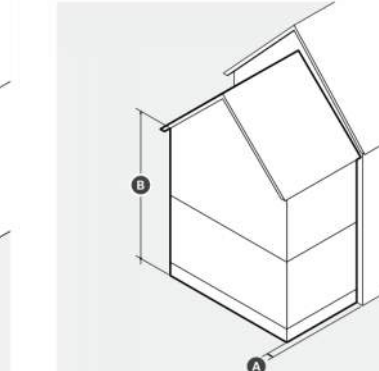
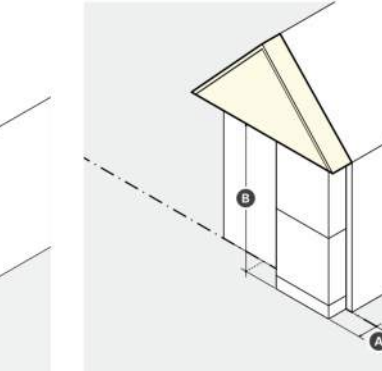
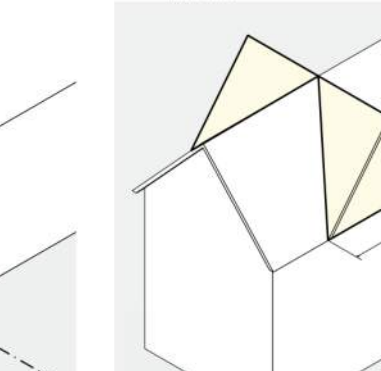
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DATE:	10/26/2021
DRAWN BY:	G.P
CHECKED BY:	E.S
APPROVED BY:	P.N

EROSION CONTROL & DEMOLITION PLAN

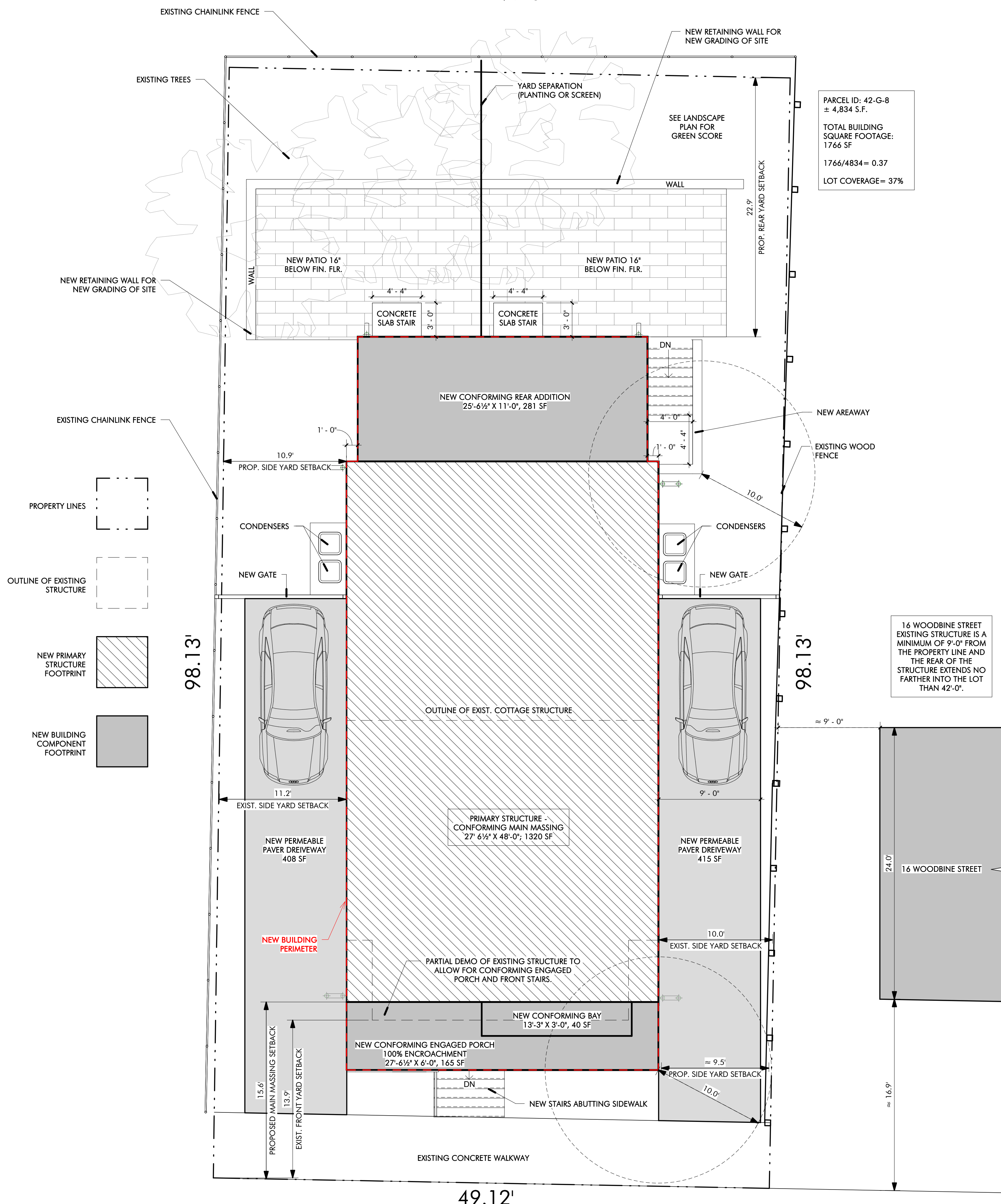
SHEET 3 OF 3

a. Lot Standards		b. Building Placement		c. Massing & Height		d. Uses & Features	
							
Lot Dimensions • Width (min) 32 ft • Depth (min) 32 ft • Front Driveway Access 24 ft • Side Driveway Access 24 ft • Lot Area (min) 80 ft ²		Building Setbacks • Primary Front Setback (min) 10 ft, 20 ft • Secondary Front Setback (min) 10 ft, 20 ft • Side Setback (min) 5 ft • Rear Setback (min) 5 ft • Front Driveway Access 24 ft • Side Driveway Access 24 ft • Rear Driveway Access 24 ft • Building Separation (min) 10 ft		Main Mass • Front Setback (min) 10 ft, 20 ft • Depth (min) 28 ft, 48 ft • Gross Floor Area (min) 2,800 sq ft • Gross Height (min) 10 ft, 12 ft • Number of Stories (min) 2.5 • Roof Type Flat, Gable, Gambrel, Hip, or Mansard		Facade Composition • Solid Wall Facades (min) 15%, 50% • Glass Wall Facades (min) 15%, 50% Use & Occupancy • Dwelling Units per Lot (max) 3 • Dwelling Units (max) 3 • Outdoor Amenities (min) 10 ft ²	
Lot Development • Lot Coverage (max) 60% • Green Score Minimum 0.35 • Year 0.40		Parking Setbacks • Primary Front Setback (min) 20 ft • Secondary Front Setback (min) 10 ft					

i. Engaged Porch An engaged porch is a porch attached to a building at two sides, one to the house and the other to a main room or entry foyer.		j. Bay Window A bay window is an assembly of windows projecting from a building to provide additional exterior space, increased light, multi-directional views, and articulation to an exterior wall.		k. Rear Addition A rear addition is an extension from the rear wall of a building.		n. Projecting Gable A projecting gable is an extension of the wall enclosing a pitched roof that expands the size of an attic or the vertical space of a hallway.		m. Cross Gable A cross gable is a gabled roof that projects perpendicularly from the roof of a building to provide significant additional vertical space to a half-story.	
									
Dimensions • Width (min) 12 ft • Depth (min) 6 ft • Clearance (min) 8 ft • Elevation Area, Clear (min) 40% of total side width • Mud Room/Foyer Width (min) 40% of total side width • Screen Enclosure (min) 100% • Front Side & Rear 0 ft		Dimensions • Width (min) 10 ft • Depth (min) 3 ft • Height (min) 8 ft • Screen Enclosure (min) 100% • Front Side & Rear 0 ft		Dimensions • Screen Enclosure (min) 100% • Front Side & Rear 0 ft		Dimensions • Screen Enclosure (min) 100% • Front Side & Rear 0 ft		Dimensions • Screen Enclosure (min) 100% • Front Side & Rear 0 ft	
i. Standards a. Stairs are not permitted to encroach into any adjacent driveway. b. Porch railings must permit visual supervision of the main room through the porch and side. c. An engaged porch may be screened provided that the percentage of window area to wall area is seventy percent (70%) or greater. Permanent enclosures of a porch to create year round living space is not permitted. d. Engaged porches are only permitted at the first story of a building.		j. Standards a. Bay windows, including box and bow windows, must include at least three (3) windows. b. The cumulative width of multiple bays may equal up to fifty percent (50%) of the width of the exterior wall from which the bay project. c. Bays projecting over the sidewalk of a public thoroughfare must have at least two (2) stories of clearance and be compliant with all City Ordinances.		k. Standards a. A rear addition may extend only backward from the rear of a building. b. The slope of any pitched roof of a rear addition must be equal to or less than slope of the roof of the main level of the building.		n. Standards a. A projecting gable may extend only forward of the main level of a building. b. A projecting gable is permitted only when a Bay or Porch is also present.		m. Standards a. The ridge and eave of the cross gable must be structurally integrated into the ridge and eave of the main roof. b. Cross gables never have cheek walls.	



2 PROPOSED NORTH ELEVATION (ZONING)
1/4" = 1'-0"



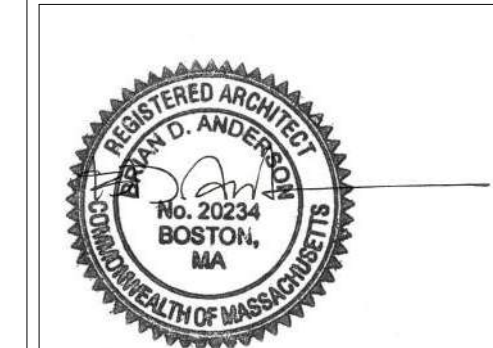
1 ZONING PLAN
3/16" = 1'-0"

PARCEL ID: 42-G-8
± 4,834 S.F.
TOTAL BUILDING
FOOTAGE:
1766 SF
1766/4834 = 0.37
LOT COVERAGE = 37%

16 WOODBINE STREET
EXISTING STRUCTURE IS A
MINIMUM OF 9'-0" FROM
THE PROPERTY LINE AND
THE REAR OF THE
STRUCTURE EXTENDS NO
FARTHER INTO THE LOT
THAN 42'-0".

PERMIT SET

REVISIONS		
No.	Description	Date

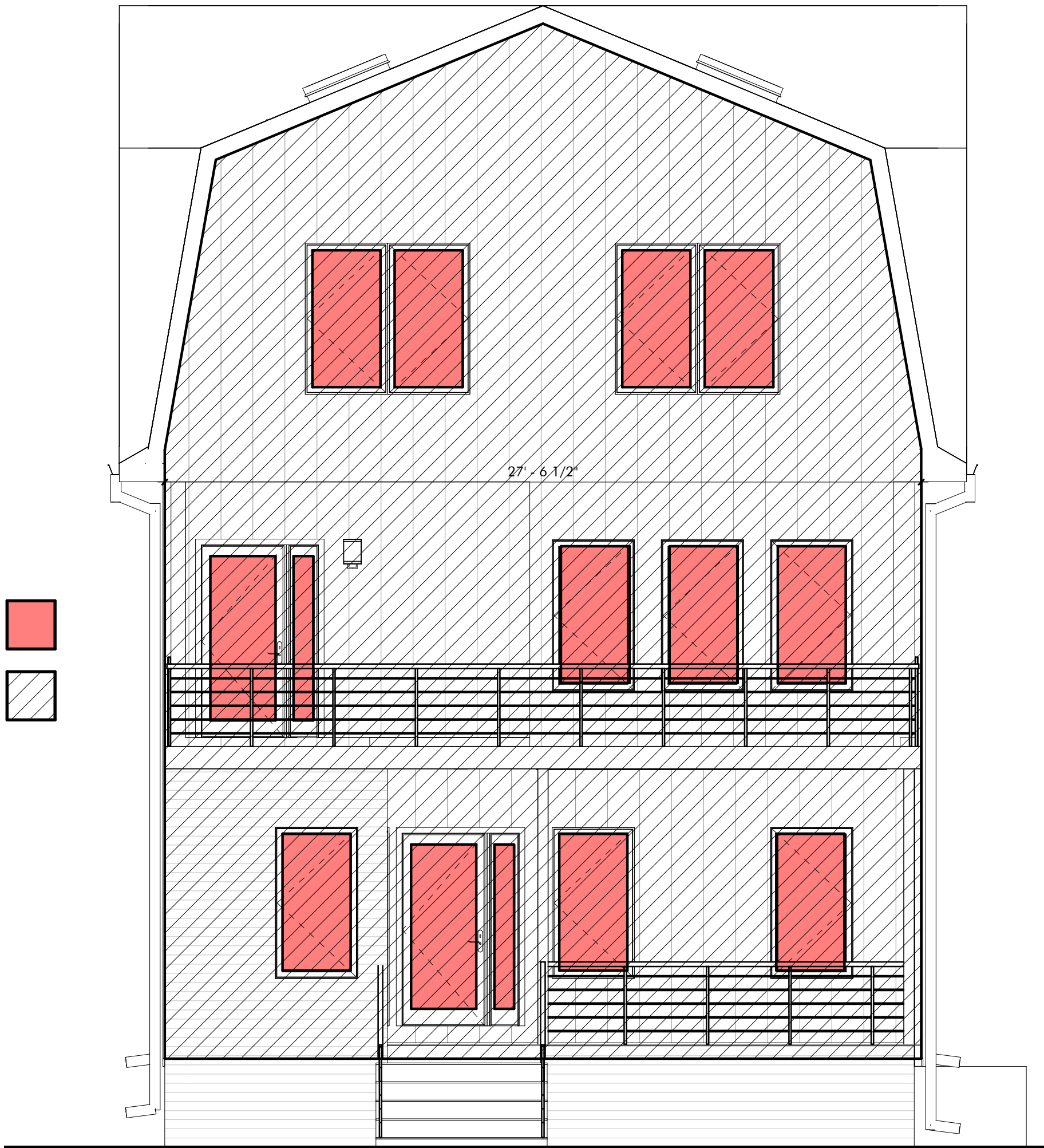


AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
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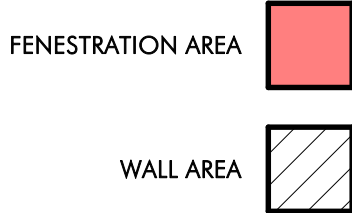
Project: 12 WOODBINE
Address: 12 WOODBINE ST
SOMERVILLE, MA 02143

Title: ZONING COMPLIANCE

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2111
Date: 2021.11.10
Scale: As indicated
Drawn by: DA/DS
Drawn No. 21.1



SOUTH ELEVATION WALL AREA: 941 SF
SOUTH ELEVATION WINDOW AREA: 160 SF
FENESTRATION PERCENTAGE AREA: 17%

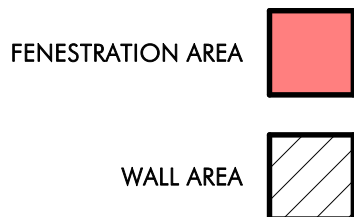


① PROPOSED ZONING COMPLIANT NORTH ELEVATION
1/4" = 1'-0"



CROSS GABLE WALL AREA: 55 SF
CROSS GABLE WINDOW AREA: 362 SF
FENESTRATION PERCENTAGE AREA: 15%

EAST ELEVATION WALL AREA: 1242 SF
EAST ELEVATION WINDOW AREA: 188 SF
FENESTRATION PERCENTAGE AREA: 15%



② PROPOSED ZONING COMPLIANT WEST ELEVATION
1/4" = 1'-0"

PERMIT SET

REVISIONS		
No.	Description	Date



AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
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Tel. 617.354.2501 Fax. 617.354.2509

Project: 12 WOODBINE

Address: 12 WOODBINE ST
SOMERVILLE, MA 02143

Title: ZONING COMPLIANCE

Drawing Issued By: ANDERSON PORTER DESIGN

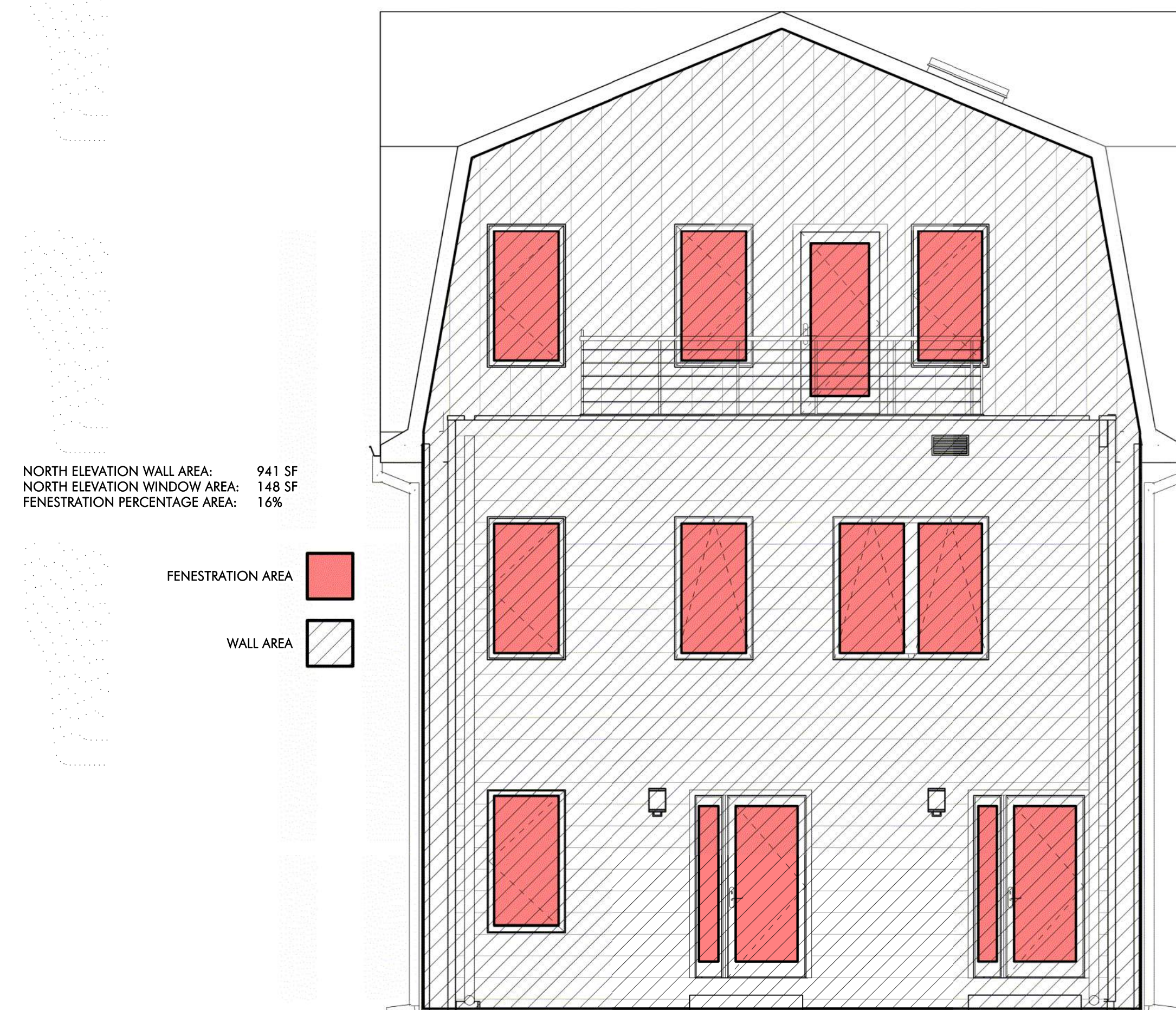
Project #: 2111

Date: 2021.11.10

Scale: 1/4" = 1'-0"

Drawn by: DS

Z1.2



1 PROPOSED ZONING COMPLIANT SOUTH ELEVATION
1/4" = 1'-0"



2. PROPOSED ZONING COMPLIANT EAST ELEVATION
1/4" = 1'-0"

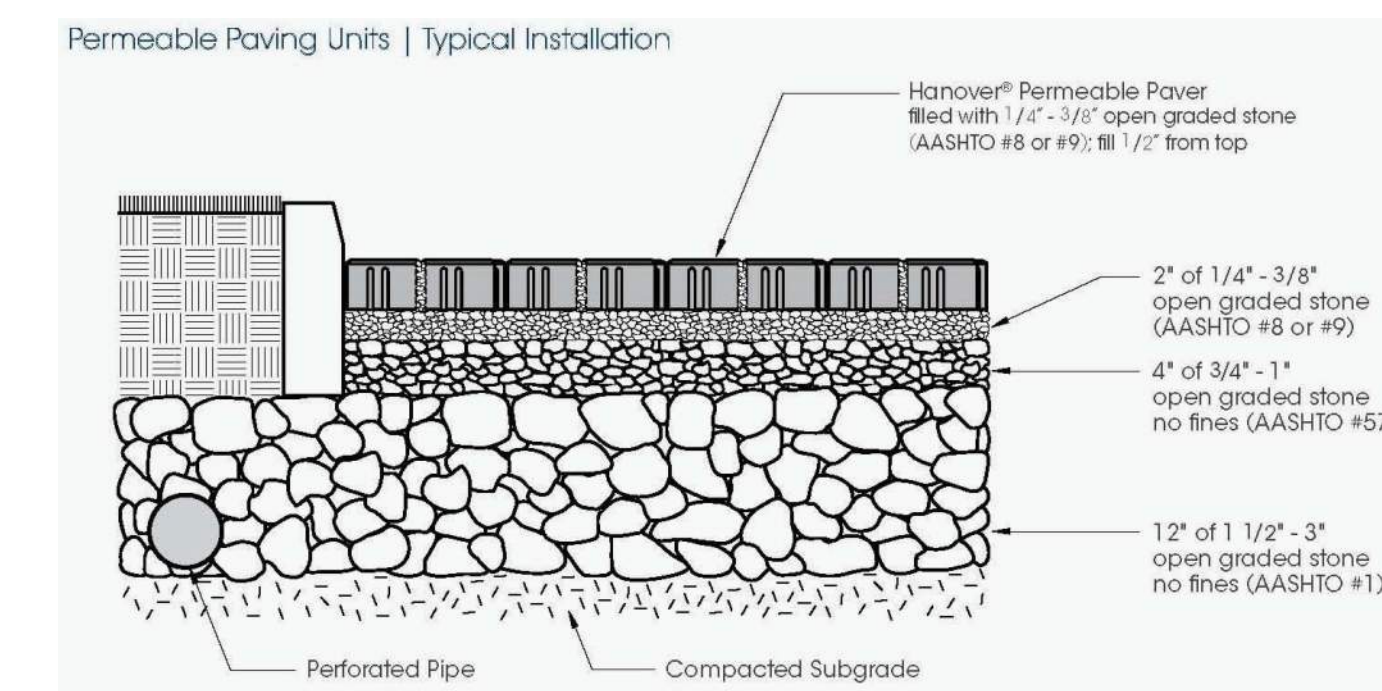
PERMIT SET

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Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project:	12 WOODBINE
Address:	12 WOODBINE ST SOMERVILLE, MA 02143
Title:	ZONING COMPLIANCE

Drawing Issued By: ANDERSON PORTER DESIGN	
Project #: 2111	Drawn No.
Date: 2021.11.10	Z1.3
Scale: 1/4" = 1'-0"	
Drawn by: DS	

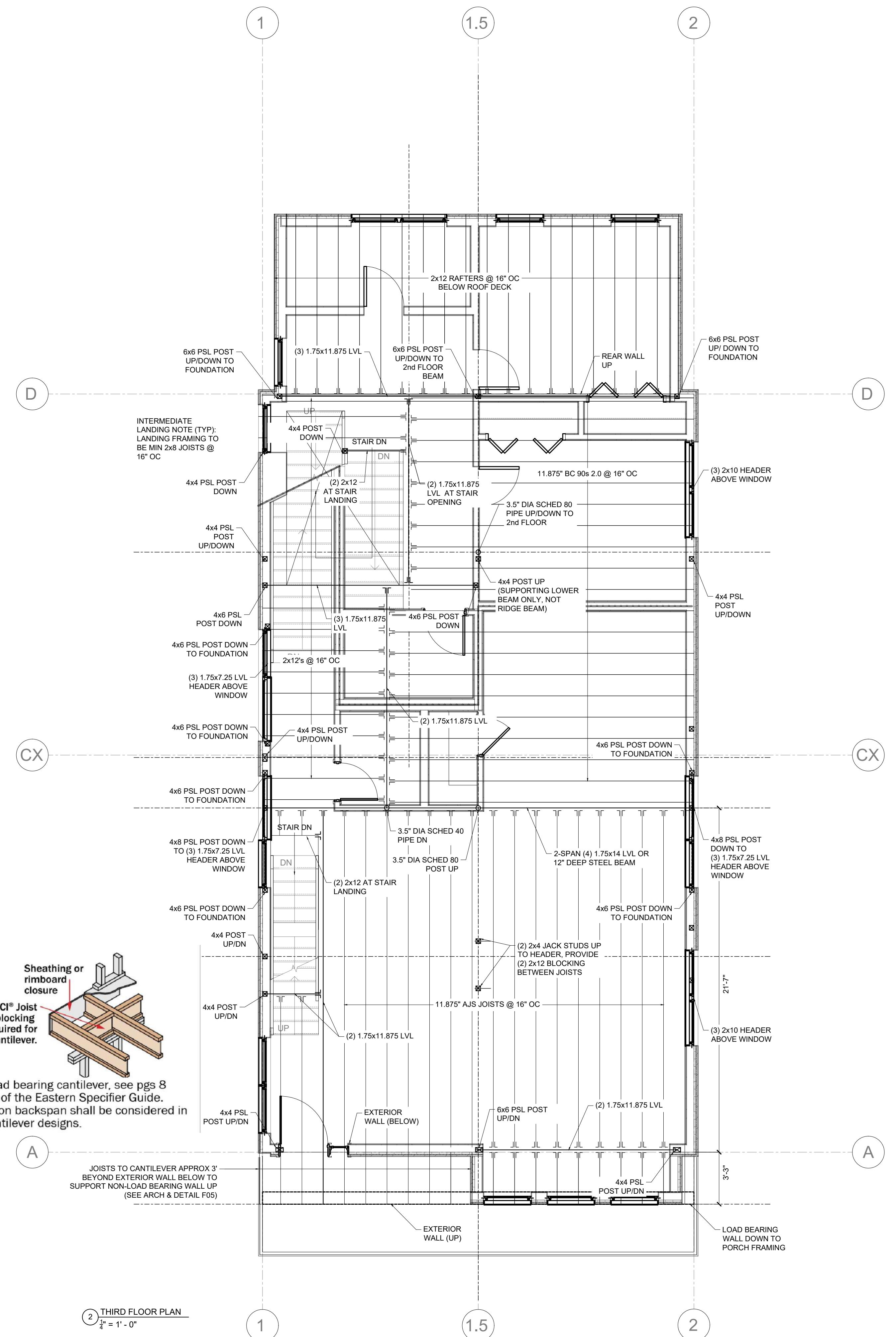
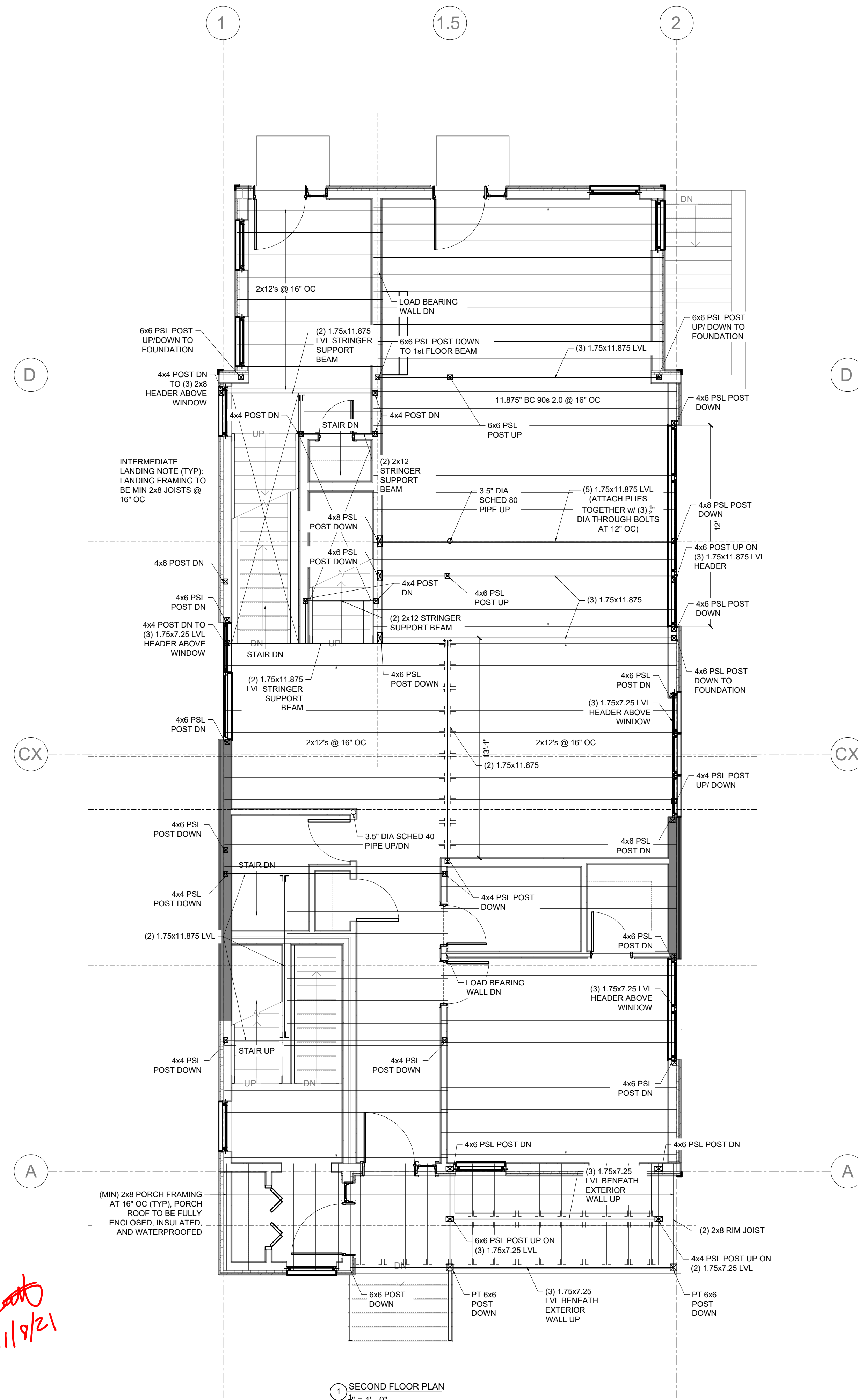
October 25, 2021



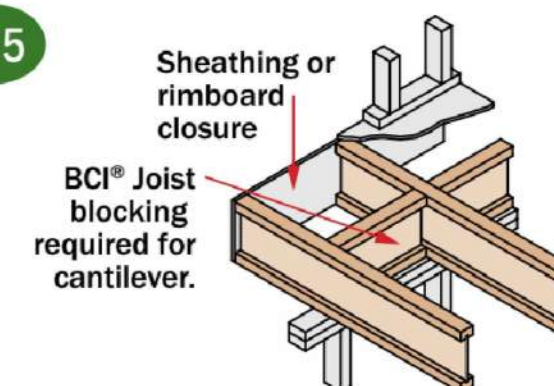
Framing Plans

Scale: 1/4" = 1'-0"

S100



F05



For load bearing cantilever, see pgs 8 and 9 of the Eastern Specifier Guide. Uplift on backspan shall be considered in all cantilever designs.

JOISTS TO CANTILEVER ARE
BEYOND EXTERIOR WALL BE
SUPPORT NON-LOAD BEARING V
(SEE ARCH & DET

2 THIRD FLOOR PLAN
 $\frac{1}{4}" = 1' - 0"$

Forest Structural Engineering

231 W. Newton St #1
Boston, MA 02116
617-447-8030

OWNER:
12 Woodbine St
Somerville, MA

Framing Plans

Scale: 1/4" = 1'-0"

S101

GENERAL NOTES

- ALL WORK SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL FEDERAL, STATE AND CITY OF SOMERVILLE LAWS, CODES AND REGULATIONS AS EACH MAY APPLY.
- ALL EXISTING CONDITIONS MUST BE VERIFIED IN FIELD. IF DISCREPANCIES ARE FOUND, THEY HAVE TO BE REPORTED TO THE ENGINEER PRIOR TO START OF WORK. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF SUCH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING AND WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING BUT NOT LIMITED TO BRACING AND SHORING.
- THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS AND WORKMANLIKE MANNER IN CONFORMITY WITH THE PLANS AND SPECIFICATIONS, AND SHALL BE IN GOOD USABLE CONDITION AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND STRUCTURE PLACEMENT, PRIOR TO START OF THE WORK. THE CONTRACTOR WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. ANY DAMAGE TO EXISTING STRUCTURES AND UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWINGS, SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS AND QUANTITIES, IF ANY, NO CLAIM AGAINST THE OWNER OR ENGINEER WILL BE ALLOWED FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
- THE DRAWINGS SHALL BE WORKED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE OWNER OF CHANGES IN DIMENSIONS OR CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES OF EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS.
- THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS, AND AGENCY APPROVALS TO THE OWNER.
- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING DEMOLITION.
- ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING/RESIDENTIAL CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT.
- THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER FOR CLARIFICATION.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR: THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, MEANS AND METHODS OF CONSTRUCTION, AND SAFETY AND SECURITY ON SITE.
- CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED.
- THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK.
- THE EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS: ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD-VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING OR COMMENCING THE WORK.
- DETAILS ARE INTENDED TO SHOW METHODS AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATION MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
- THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH THE EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- UNLESS ITEMS, MATERIALS, EQUIPMENT, OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED BY THE CONTRACTOR UNDER THIS CONTRACT.
- ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.
- MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE OWNER.
- THE CONTRACTOR SHALL PERFORM TESTS AT HIS/HER OWN EXPENSE, AS NECESSARY OR AS REQUIRED BY ANY INSPECTION AGENCY. TESTS SHALL BE MADE TO VERIFY WHETHER THE SYSTEM OR COMPONENTS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN WORKING ORDER.
- THE CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
- FOREST STRUCTURAL ENGINEERING, INC. IS NOT THE ENGINEER OF RECORD UNLESS A CONSTRUCTION CONTROL AFFIDAVIT STATING OTHERWISE IS FILED.
- FOREST STRUCTURAL ENGINEERING, INC. IS NOT RESPONSIBLE FOR ANY CONSTRUCTION THAT DEVIATES FROM THESE PLANS.

STRUCTURAL NOTES:

- ALL LOADS AND LOADING CONDITIONS ARE PER IRC 2015 (9TH EDITION OF MASSACHUSETTS BUILDING CODE).
- ALL DIMENSIONAL LUMBER MUST BE OF CONSTRUCTION GRADE OR BETTER.
- CONCRETE SHALL BE $F_c = 3500$ PSI.

FOUNDATION NOTES:

- A. GENERAL: (UNLESS NOTED OTHERWISE)
- ANY WOOD FRAMING MEMBERS IN DIRECT CONTACT WITH CONCRETE SURFACES SHALL BE COATED WITH PRESERVATIVE.
 - ALL FOUNDATION WALLS SHALL BE BRACED DURING THE OPERATIONS OF BACKFILLING AND COMPACTION. BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED.
 - CONCRETE WALLS TO BE DAMP PROOFED BELOW GRADE, EXTERIOR SIDE. LOCAL BUILDING DEPARTMENT SHALL INSPECT EXCAVATION PRIOR TO CONSTRUCTION OF FOOTINGS AND WALLS, AND AT OTHER INTERVALS IN ACCORDANCE WITH LOCAL STANDARD PRACTICES.
 - IF THE CONTRACTOR MAKES ANY CHANGES OR DEVIATES FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TOTAL DEIGN.
 - SLAB POURED ON GROUND SHALL REST AGAINST 6" COMPACTED SAND ON 1 LAYER OF POLYETHYLENE SHEETING (6 MILS.)

B. FOUNDATION REQUIREMENTS:

- THE BOTTOM OF FOOTINGS SHALL BEAR ON UNDISTURBED INORGANIC GRANULAR SOIL OR COMPACTED STRUCTURAL FILL WITH A SAFE ALLOWABLE BEARING PRESSURE OF MINIMUM 1 TONS/SQ FT.
- IF ORGANICS ARE ENCOUNTERED IN THE EXCAVATION, WORK SHALL BE SUSPENDED AND THE ENGINEER CONTACTED PRIOR TO COMMENCING WORK.
- CONCRETE SHALL BE PLACED "IN THE DRY" ONLY, AND NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
- SPECIAL CARE SHALL BE TAKEN IN BACKFILLING WALLS AND UTILITY TRENCHES. BACKFILL MATERIAL SHALL BE COMPACTED IN 12" LAYERS MAXIMUM WITH POWER TAMPERS OR BY OTHER APPROVED EQUIPMENT.
- WALLS RETAINING EARTH SHALL BE BACKFILLED EQUALLY EACH SIDE UNLESS ADEQUATELY BRACED.

C. CONCRETE (UNLESS NOTED OTHERWISE):

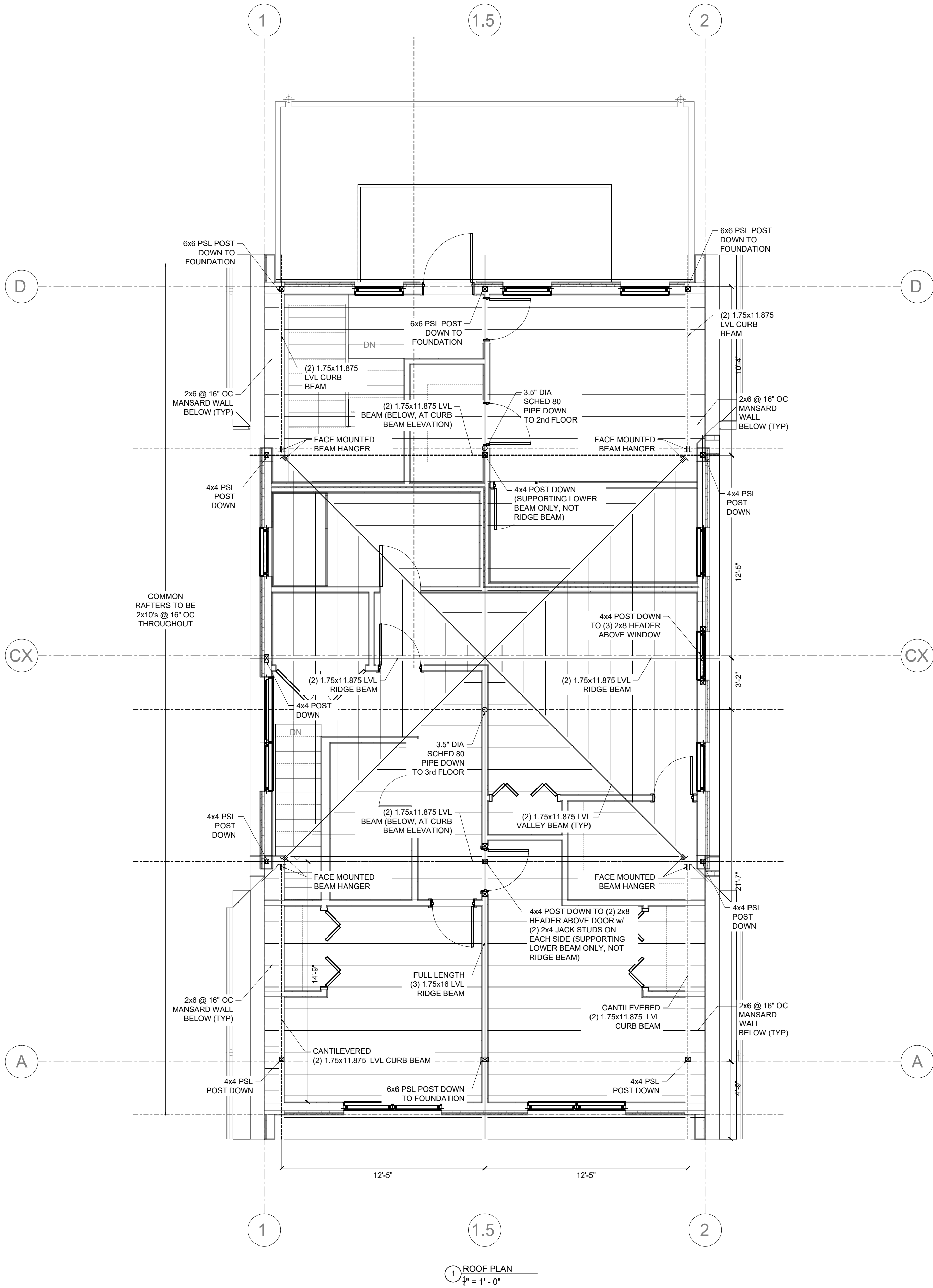
- CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE, STANDARDS, RECOMMENDED PRACTICES AND SPECIFICATIONS AS REVISED TO DATE
- CONCRETE SHALL BE MIXED IN THE SPECIFIED PROPORTIONS TO GIVE MINIMUM COMPRESSIVE STRENGTH AT THE END OF 28 DAYS OF 3500 PSI.
- CONSTRUCTION JOINTS IN STRUCTURAL CONCRETE SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN OR OTHER APPROVED LOCATION OF MINIMUM SHEAR.

D. REINFORCING STEEL (UNLESS NOTED OTHERWISE):

- BARS SHALL BE HIGH BOND DEFORMED BARS MEETING ASTM 1-615 GRADE 60
- WHERE OPENINGS OCCUR IN WALLS OR SLABSM, PROVIDE (2) #4 BARS EACH FACE EACH SIDE OF OPENINGS AND EXTEND 2'-6" BEYOND OPENING
- SLABS ON GRADE SHALL BE REINFORCED WITH 6x6= W10xW10 WELDED WIRE FABRIC. LAP SPLICE WIRES ONE SPACE PLUS 2" ALL SIDES

E. MISC (UNLESS NOTED OTHERWISE):

- VERIFY IN FIELD ALL LOCATIONS AND CONDITIONS IN THE STRUCTURE SHOWN ON THE DRAWINGS AND/OR AFFECTING THE INSTALLATION OF NEW WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE FABRICATION OF DEPENDENT WORK
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING. TO SAFELY SUPPORT THE BUILDING DURING CONSTRUCTION ANY APPROVAL BY THE ENGINEER WILL NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY , FOR SHORING AND/OR BRACING.
- DURING THE CONSTRUCTION PHASE OF THE PROJECT THE CONTRACTOR SHALL REVIEW DESIGN LOADS TO LIMIT AND CONTROL CONSTRUCTION LOADING, INCLUDING BUT NOT LIMITED TO MATERIAL STOCK PILING AND CONSTRUCTION EQUIPMENT.



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OWNER:
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Somerville, MA

Framing Plans

Scale: 1/4" = 1' - 0"

S102

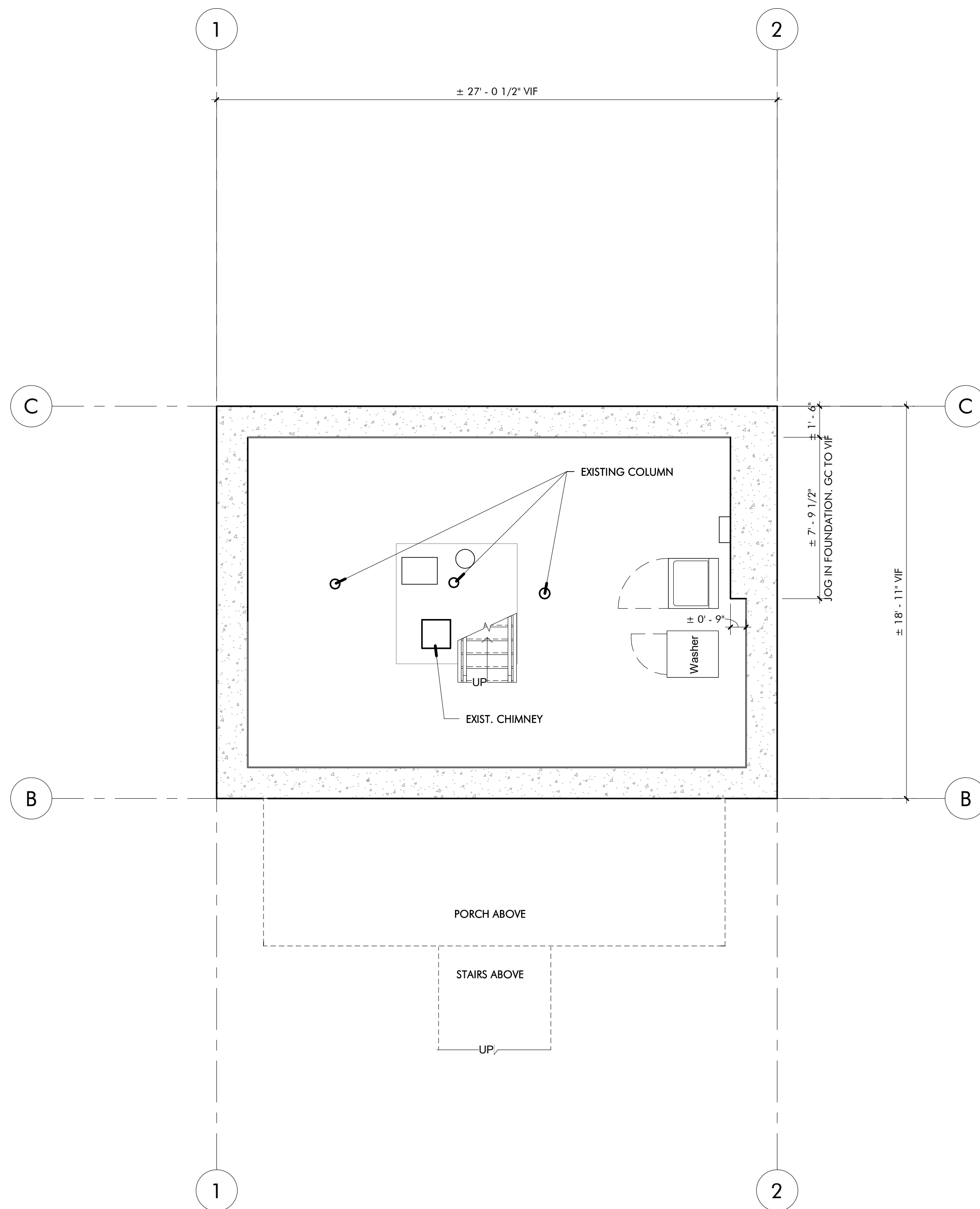


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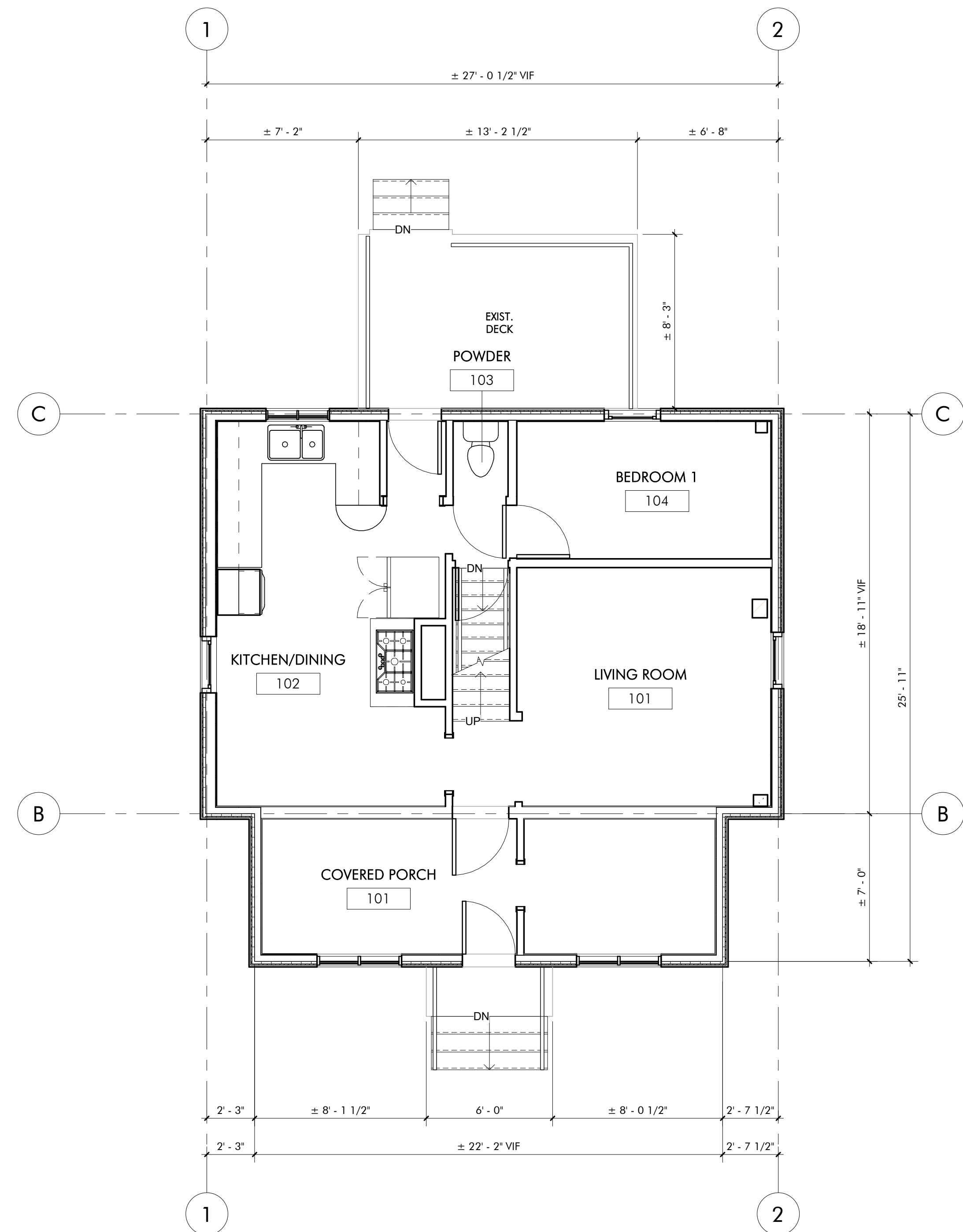
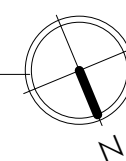
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Address:	12 WOODBINE ST SOMERVILLE, MA 02143

Title:	EXIST. FLOOR PLANS
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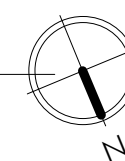
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1 EXISTING BASEMENT PLAN
1/4" = 1'-0"



② EXISTING LEVEL 1 PLAN
1/4" = 1'-0"



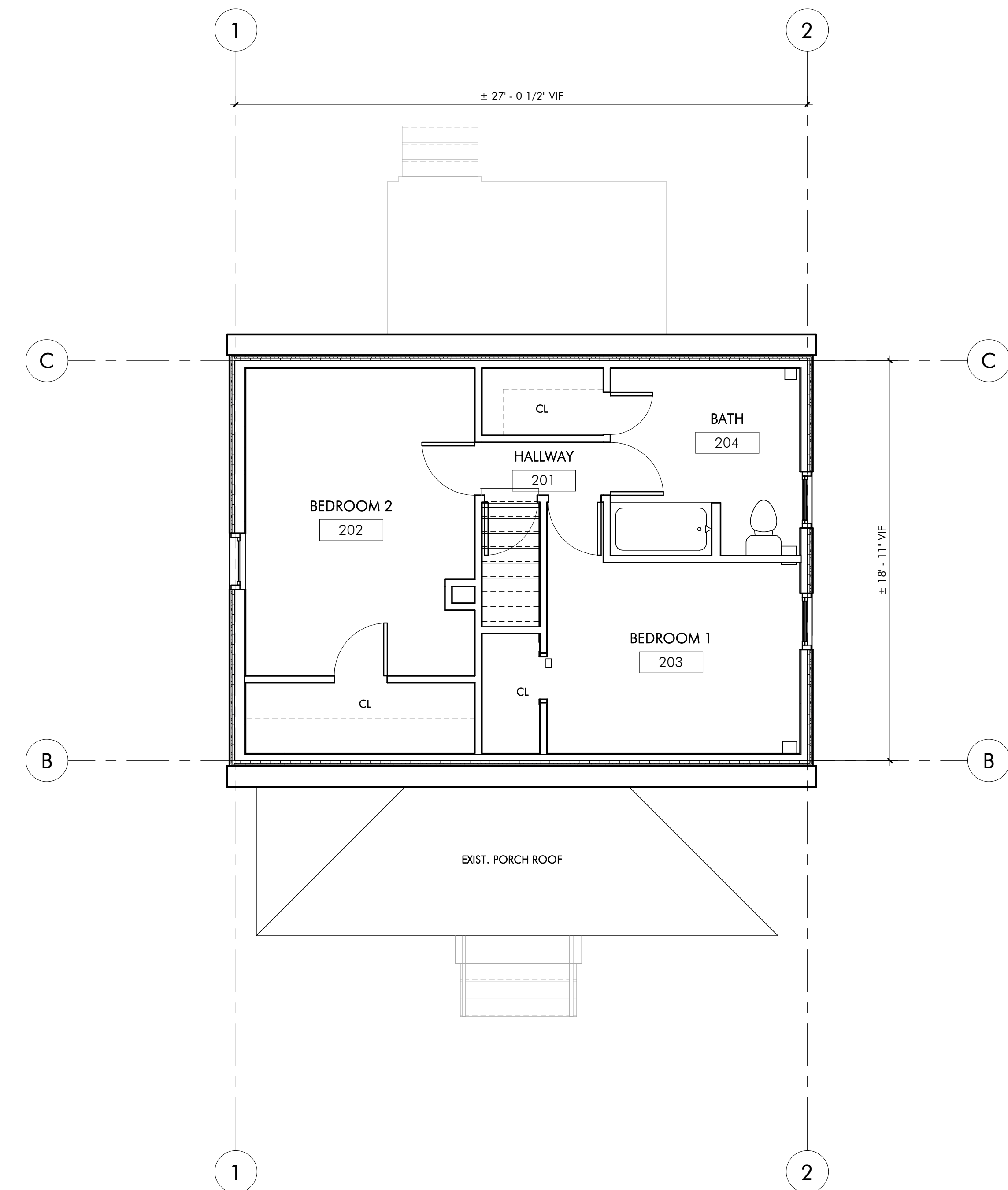


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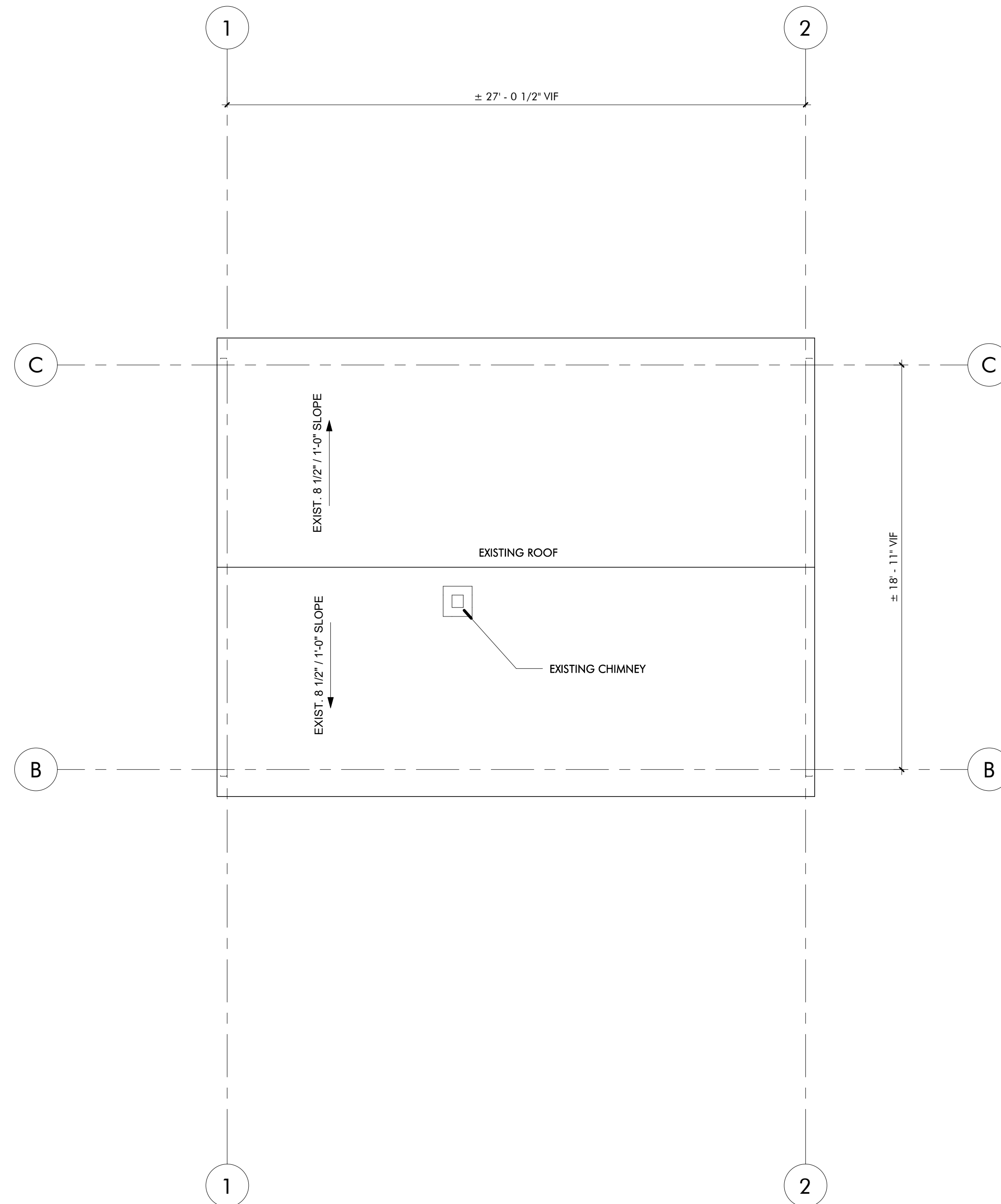
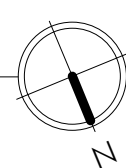
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Address:	12 WOODBINE ST SOMERVILLE, MA 02143

Title:	EXIST. FLOOR PLANS
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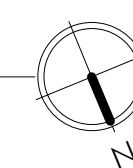
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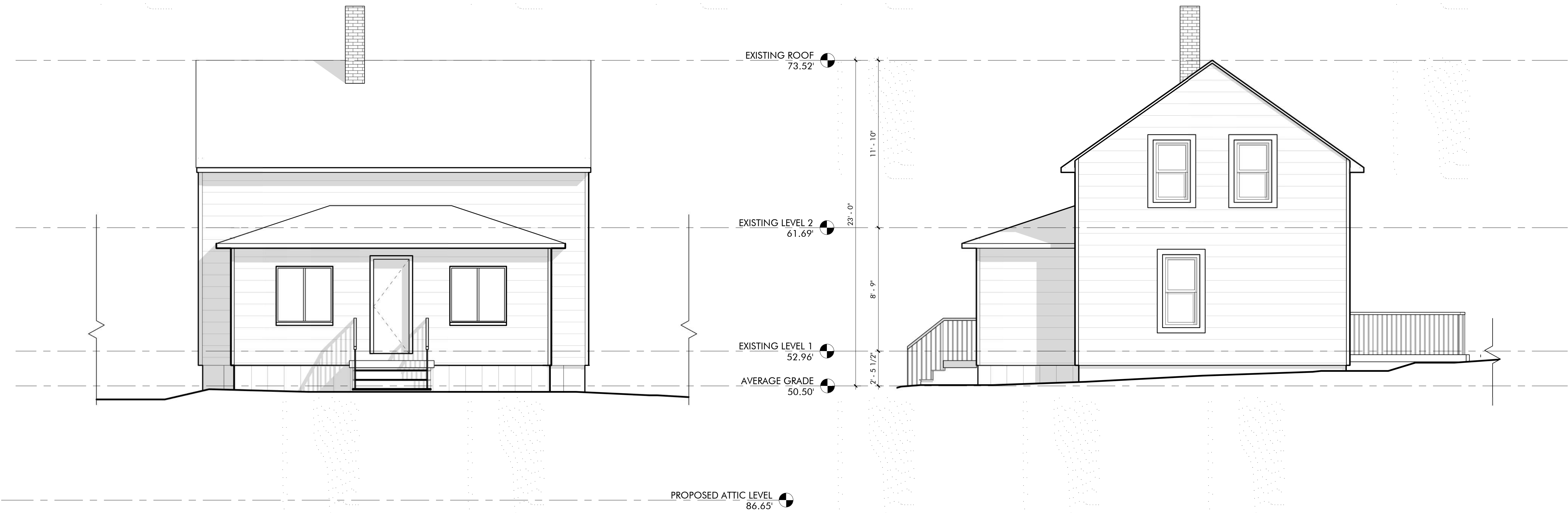


1 EXISTING LEVEL 2 PLAN
1/4" = 1'-0"



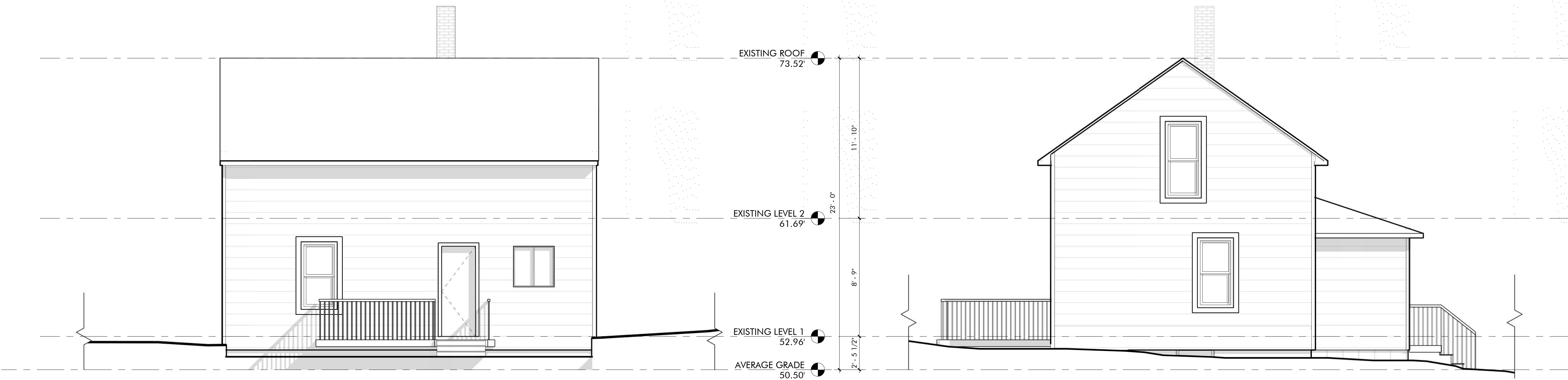
② EXISTING ROOF PLAN
1/4" = 1'-0"





③ EXISTING NORTH ELEVATION
1/4" = 1'-0"

① EXISTING WEST ELEVATION
1/4" = 1'-0"



② EXISTING SOUTH ELEVATION
1/4" = 1'-0"

④ EXISTING EAST ELEVATION
1/4" = 1'-0"

PERMIT SET

REVISIONS		
No.	Description	Date



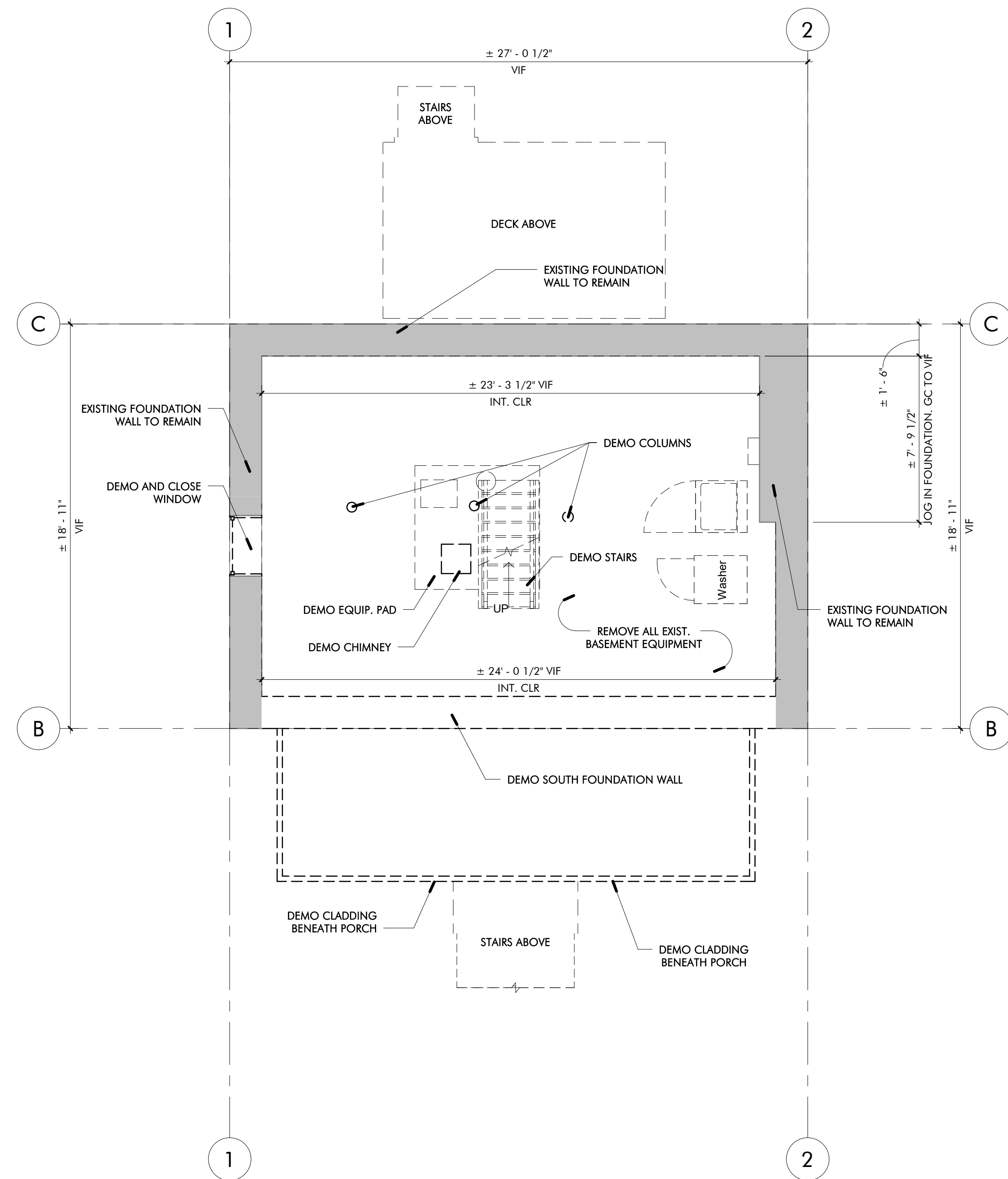
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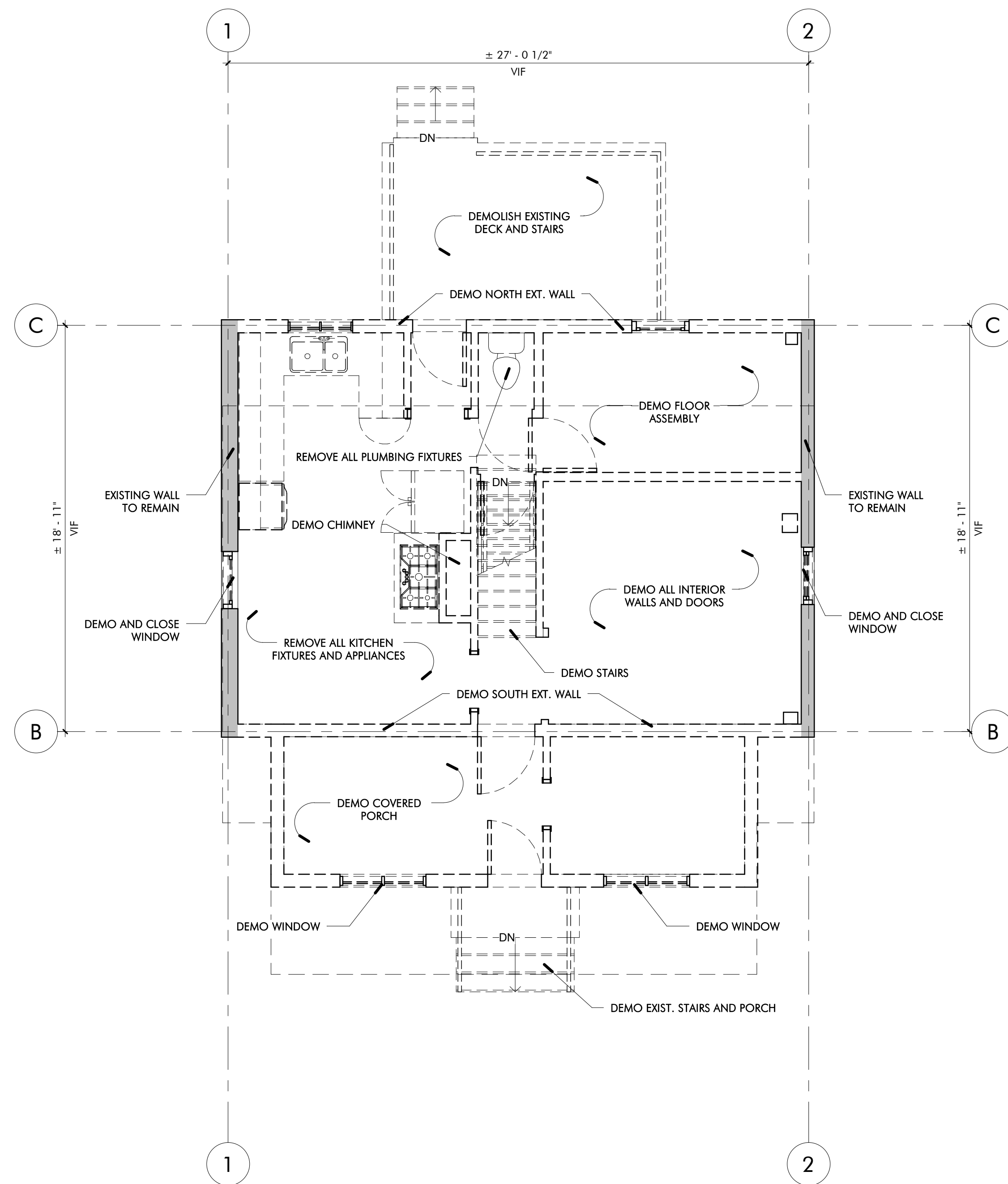
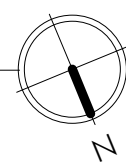
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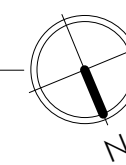
AX2.1



1 DEMO BASEMENT PLAN
1/4" = 1'-0"



2 DEMO LEVEL 1 PLAN
1/4" = 1'-0"



PERMIT SET

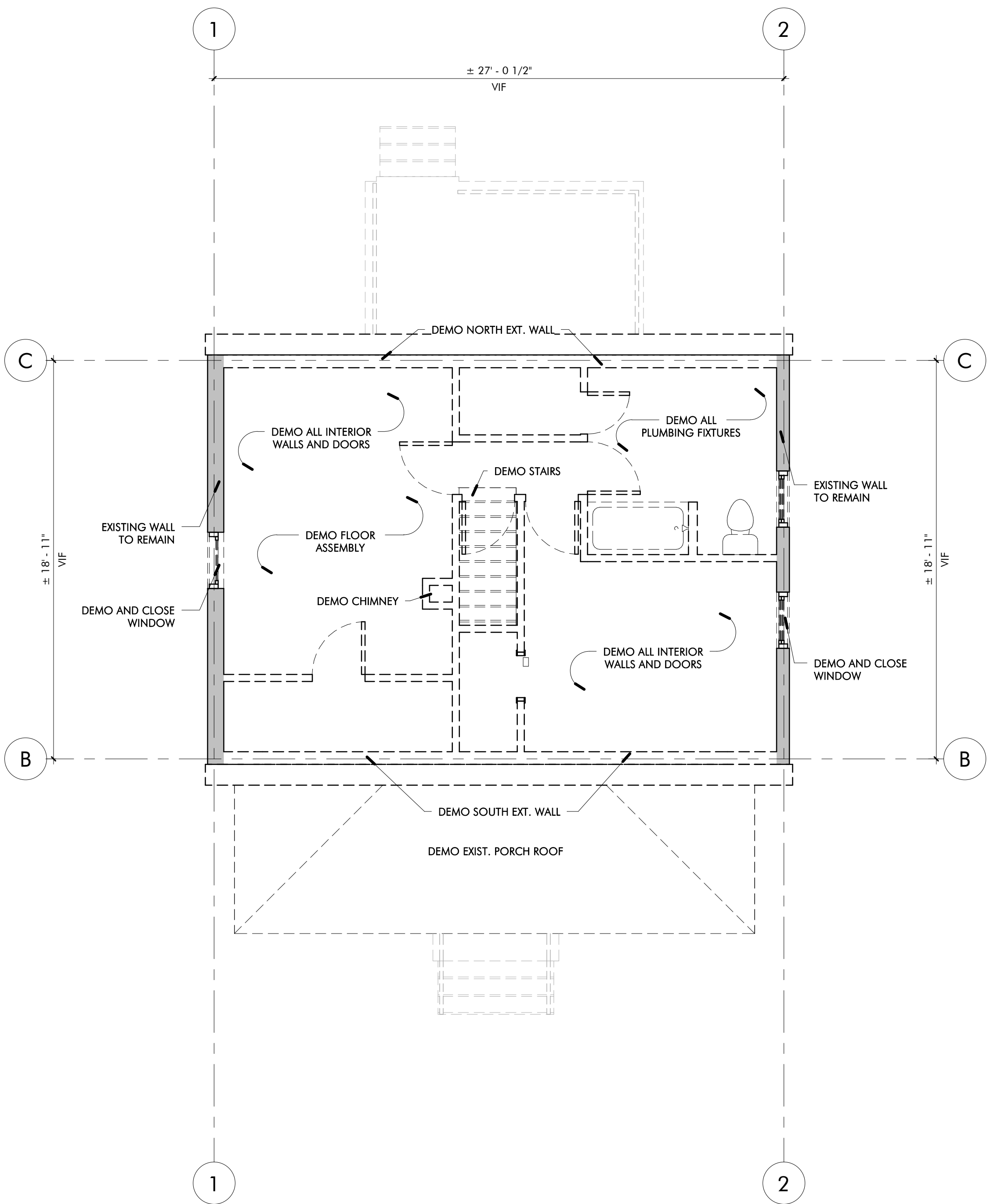
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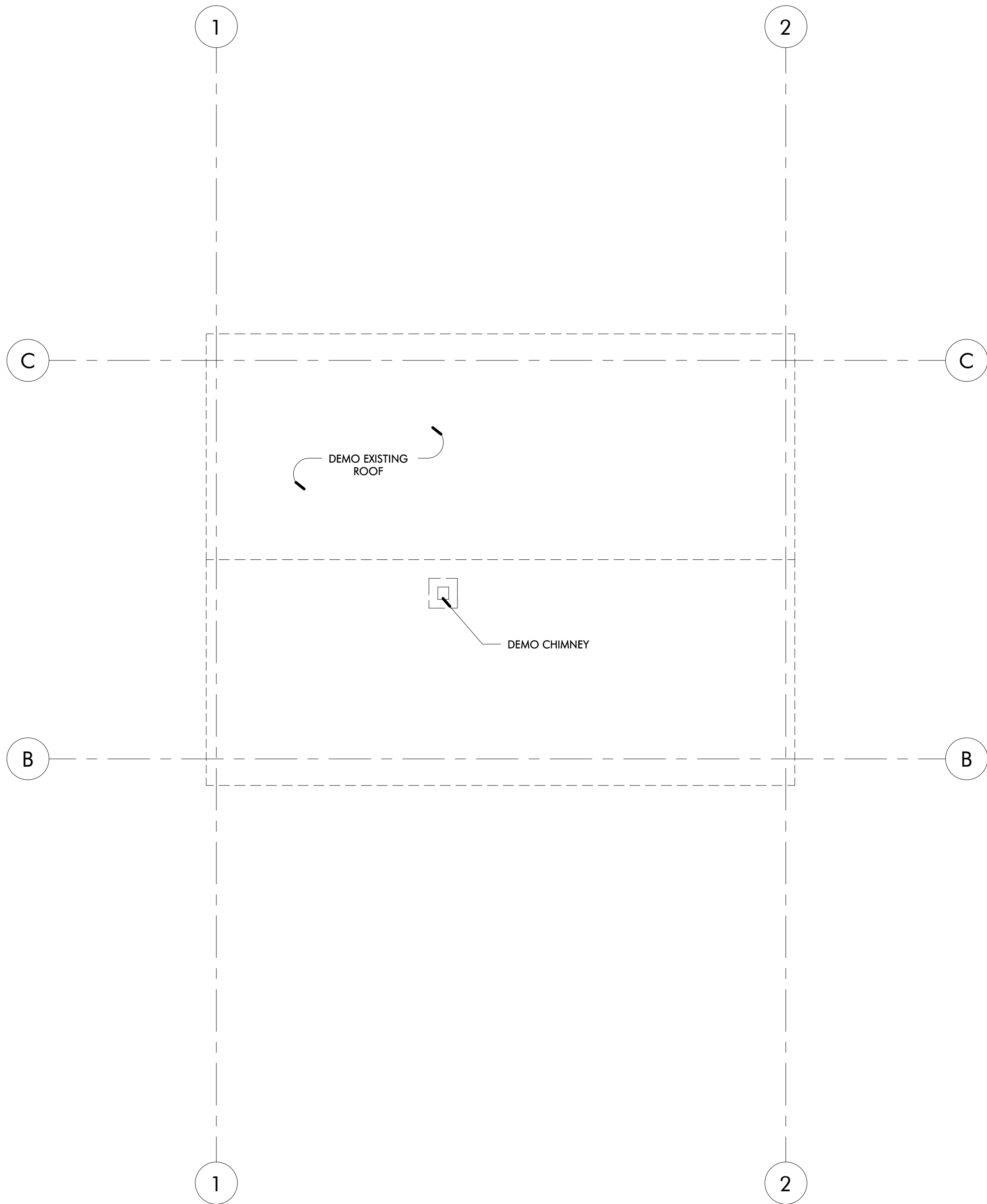
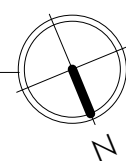
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Title: DEMO FLOOR PLANS

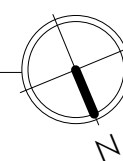
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Date: 2021.11.10	
Scale: 1/4" = 1'-0"	
Drawn by: DS	



1 DEMO LEVEL 2
1/4" = 1'-0"



2 DEMO ROOF PLAN
1/4" = 1'-0"



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Title: DEMO FLOOR PLANS

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Project #: 2111

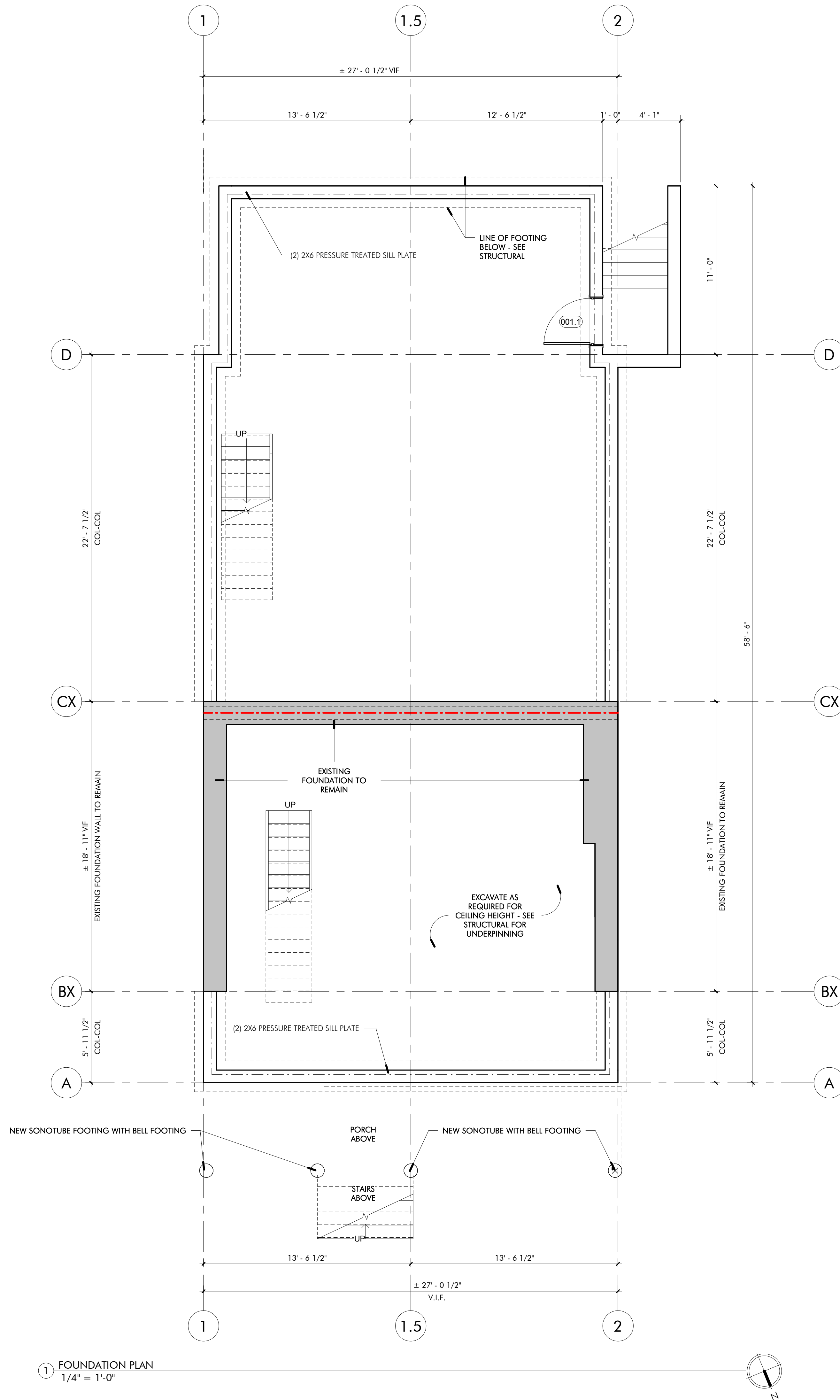
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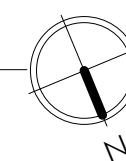
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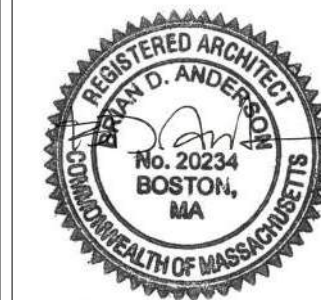


1 FOUNDATION PLAN
1/4" = 1'-0"



PERMIT SET

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Title:	FOUNDATION PLAN	
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Date:	2021.11.10	
Scale:	1/4" = 1'-0"	A1.0
Drawn by:	GA	

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PROPOSED FLOOR PLANS

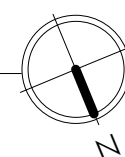
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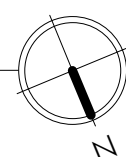
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A1.1



2 PROPOSED BASEMENT
1/4" = 1'-0"



1 PROPOSED LEVEL 1
1/4" = 1'-0"

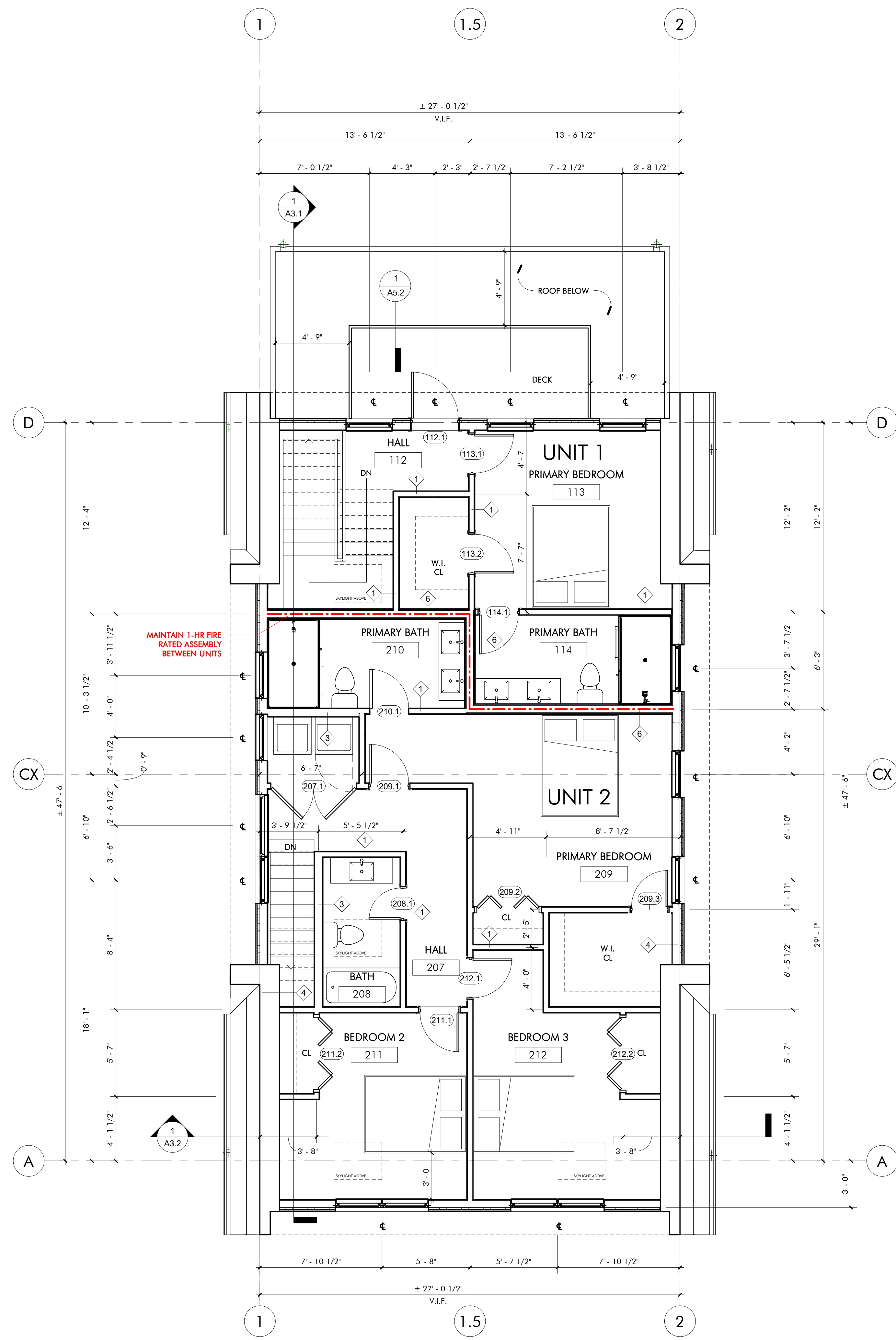
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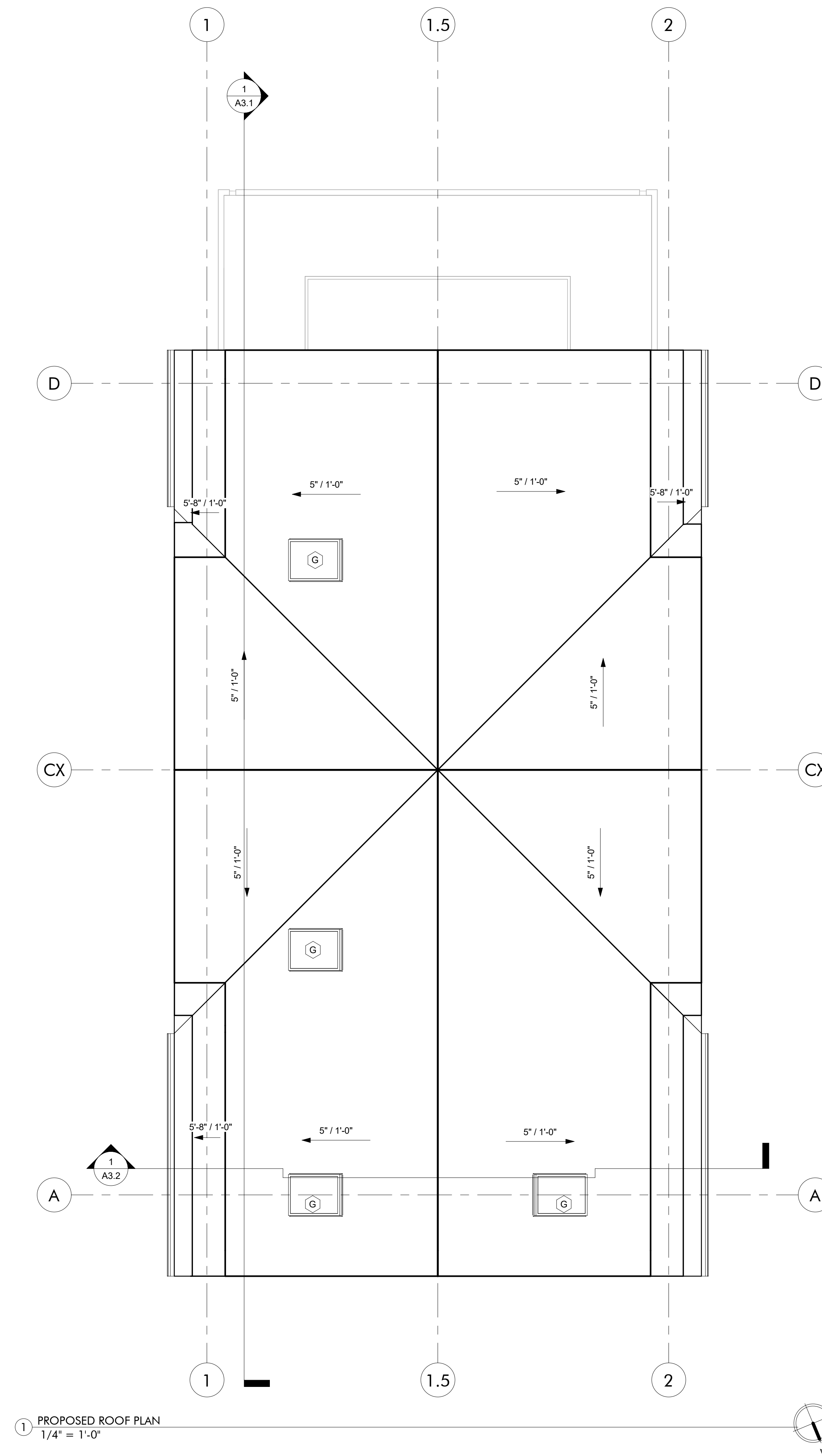
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Date:	2021.11.10	

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Drawn by:	GA/DS	



② PROPOSED LEVEL 3
1/4" = 1'-0"



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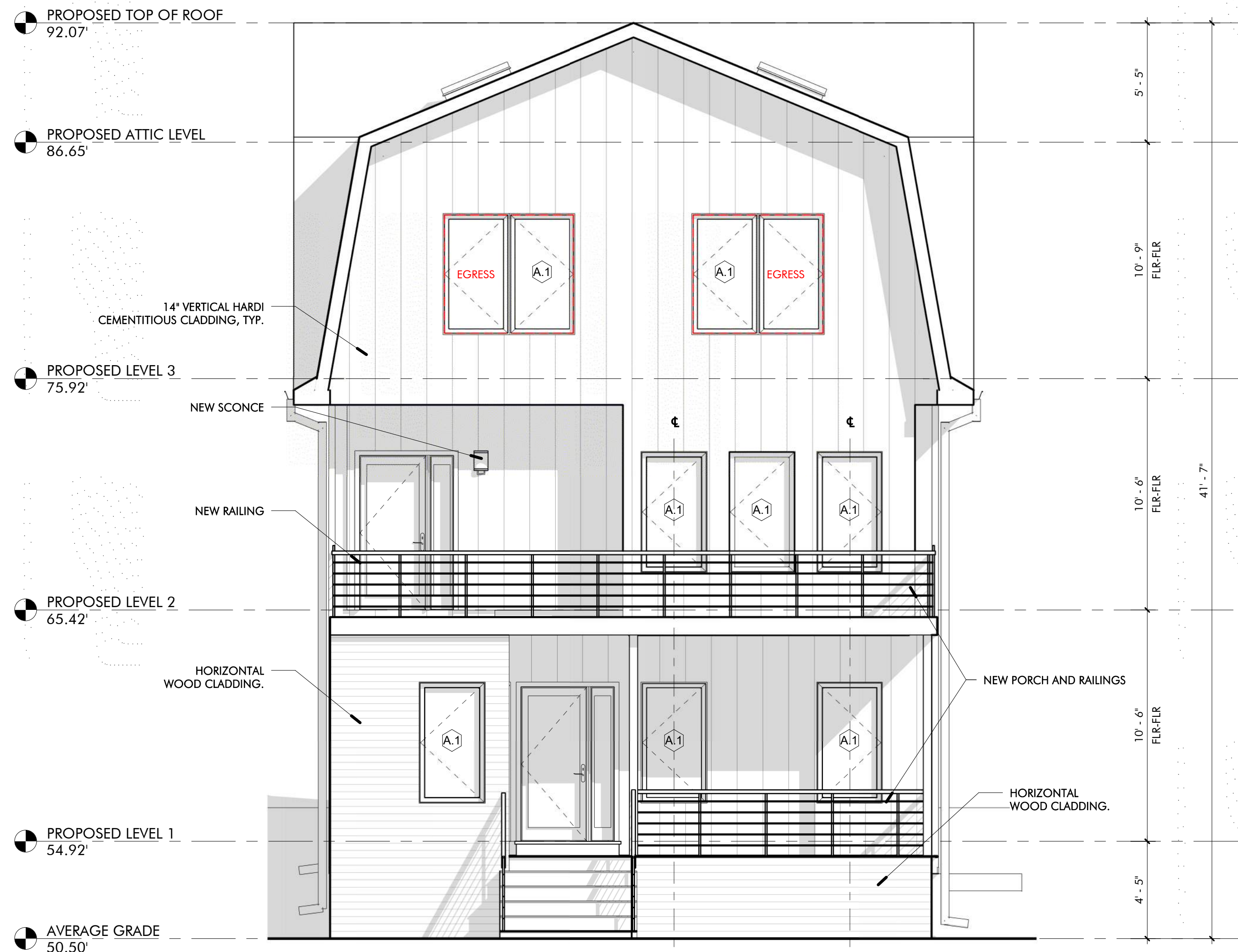
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Title: PROPOSED ROOF PLAN

Drawing Issued By: ANDERSON PORTER DESIGN	
Project #: 2111	Drawing No. <h1>A1.3</h1>
Date: 2021.11.10	
Scale: $1/4" = 1'-0"$	
Drawn by: GA	



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"

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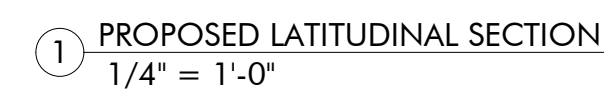
Project: 12 WOODBINE
Address: 12 WOODBINE ST
SOMERVILLE, MA 02143

Title: PROPOSED ELEVATIONS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2111
Date: 2021.11.10
Scale: 1/4" = 1'-0"
Drawn by: DS/GA

[illegible]

Drawing Issued By: ANDERSON PORTER DESIGN	
Project #: 2111	Drawn No.
Date: 2021.11.10	A2.2
Scale: 1/4" = 1'-0"	
Drawn by: GA/DS	



NOT FOR CONSTRUCTION

PERMIT SET

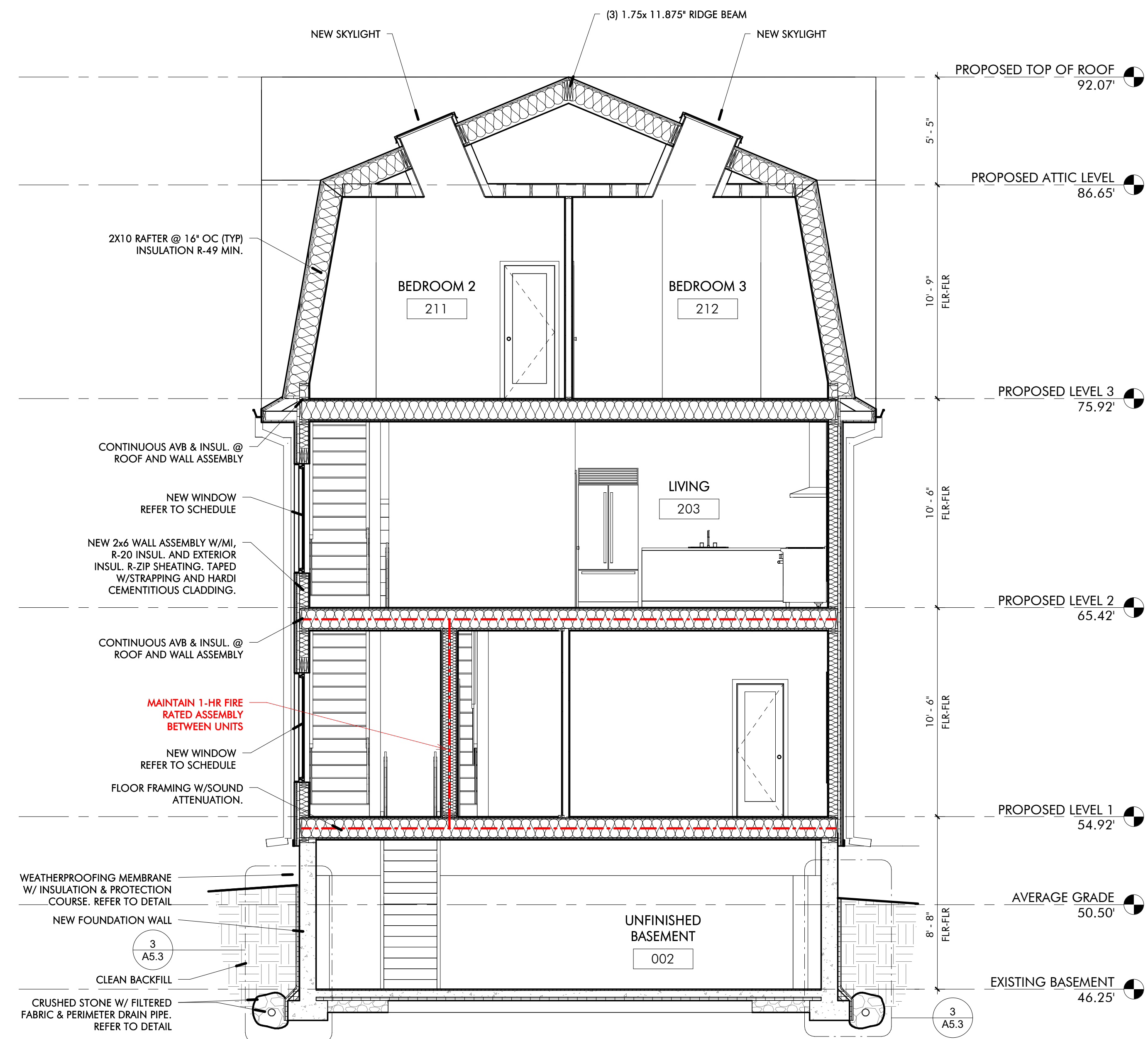
[illegible]

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Project:	12 WOODBINE
Address:	12 WOODBINE ST SOMERVILLE, MA 02143

Title: **PROPOSED SECTIONS**

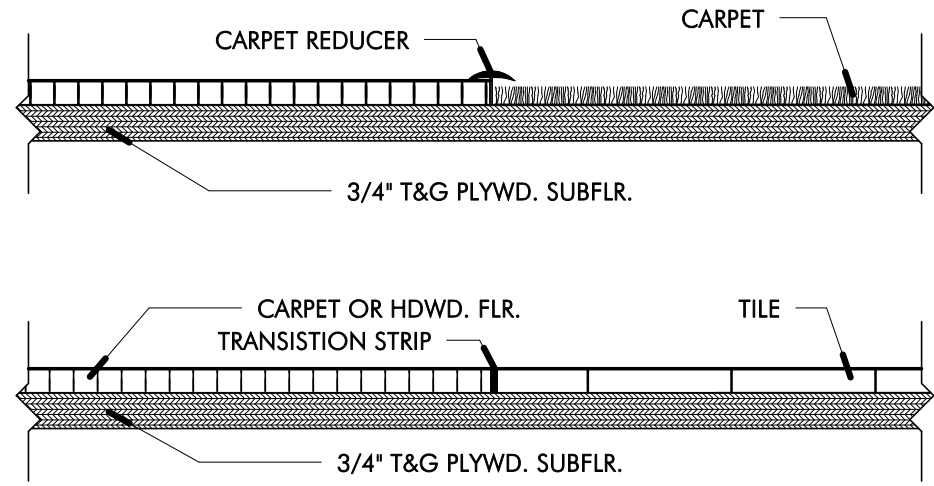
Drawing Issued By: ANDERSON PORTER DESIGN	
Project #: 2111	Drawn No. <div style="font-size: 2em; font-weight: bold;">A3.2</div>
Date: 2021.11.10	
Scale: 1/4" = 1'-0"	
Drawn by: DS	



1 PROPOSED LONGITUDINAL SECTION
1/4" = 1'-0"

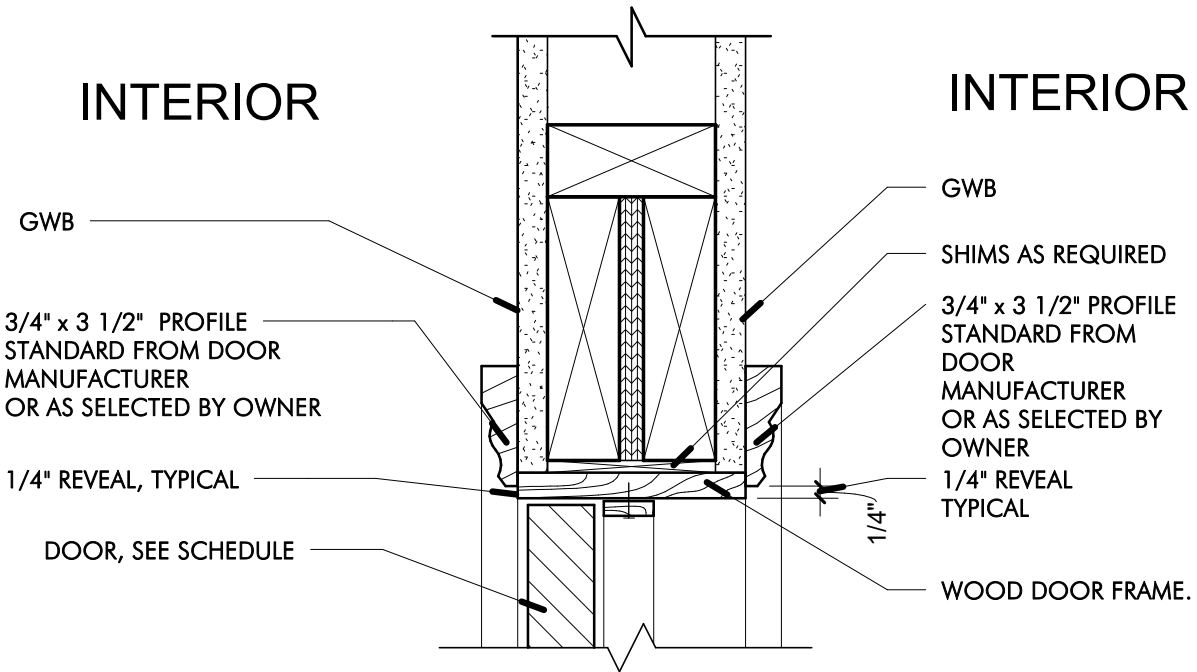
1 FLOOR FINISH DETAILS

Scale: 3"=1'-0"



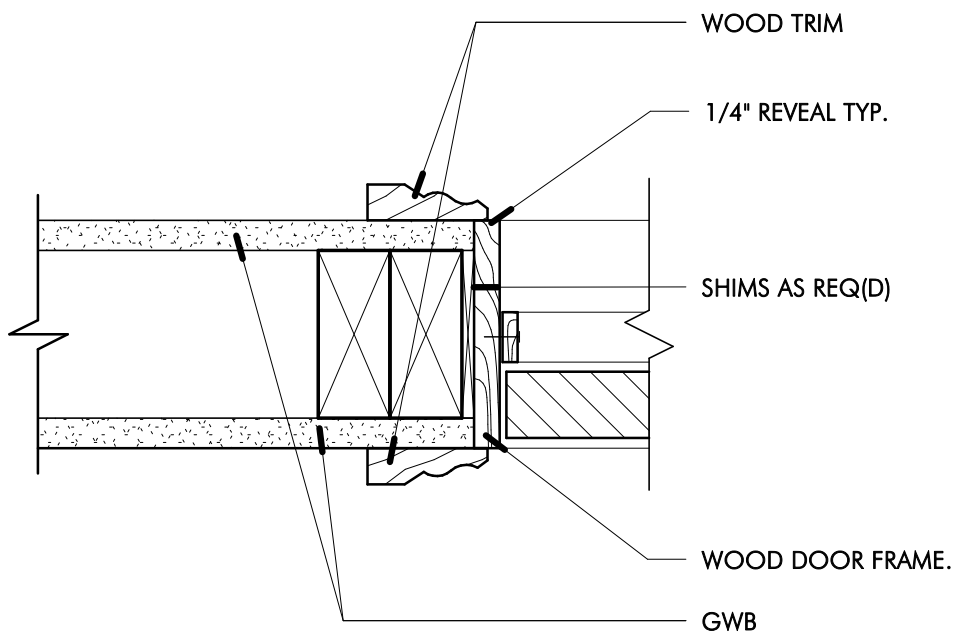
2 INTERIOR WOOD FRAME- DOOR HEAD DETAIL

Scale: 3"=1'-0"



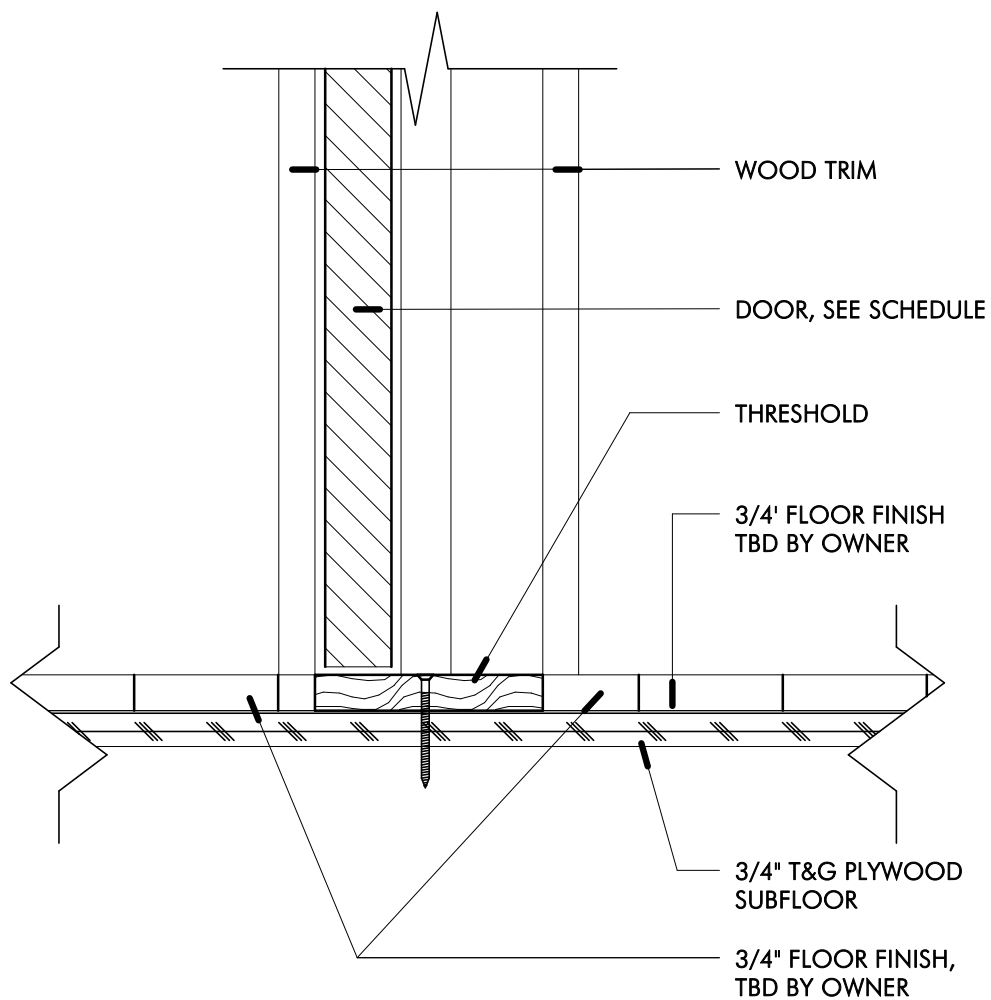
3 INTERIOR WOOD FRAME- DOOR JAMB DETIAL

Scale: 3"=1'-0"



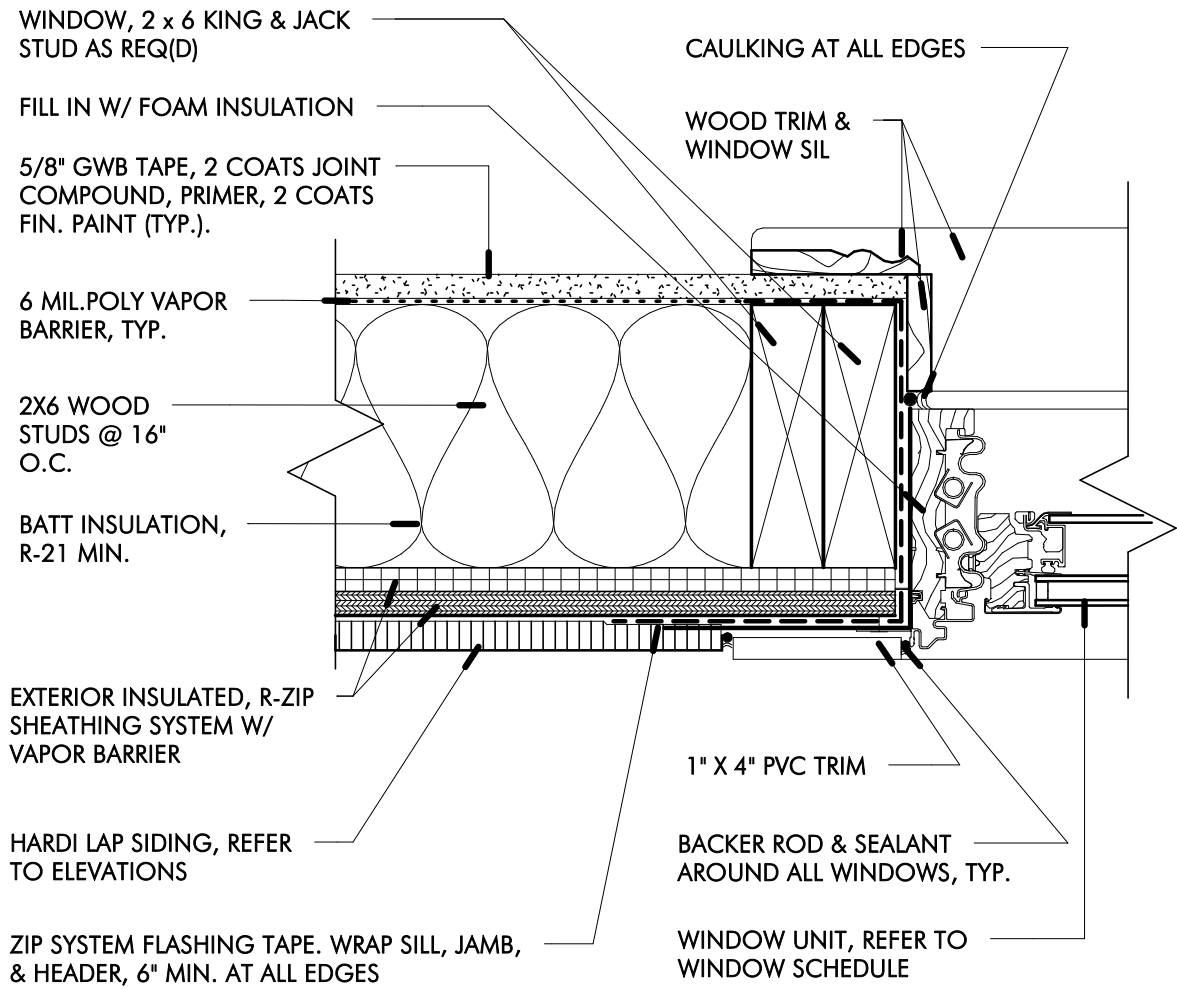
4 INTERIOR WOOD FRAME- DOOR THRESHOLD DETAIL

Scale: 3"=1'-0"



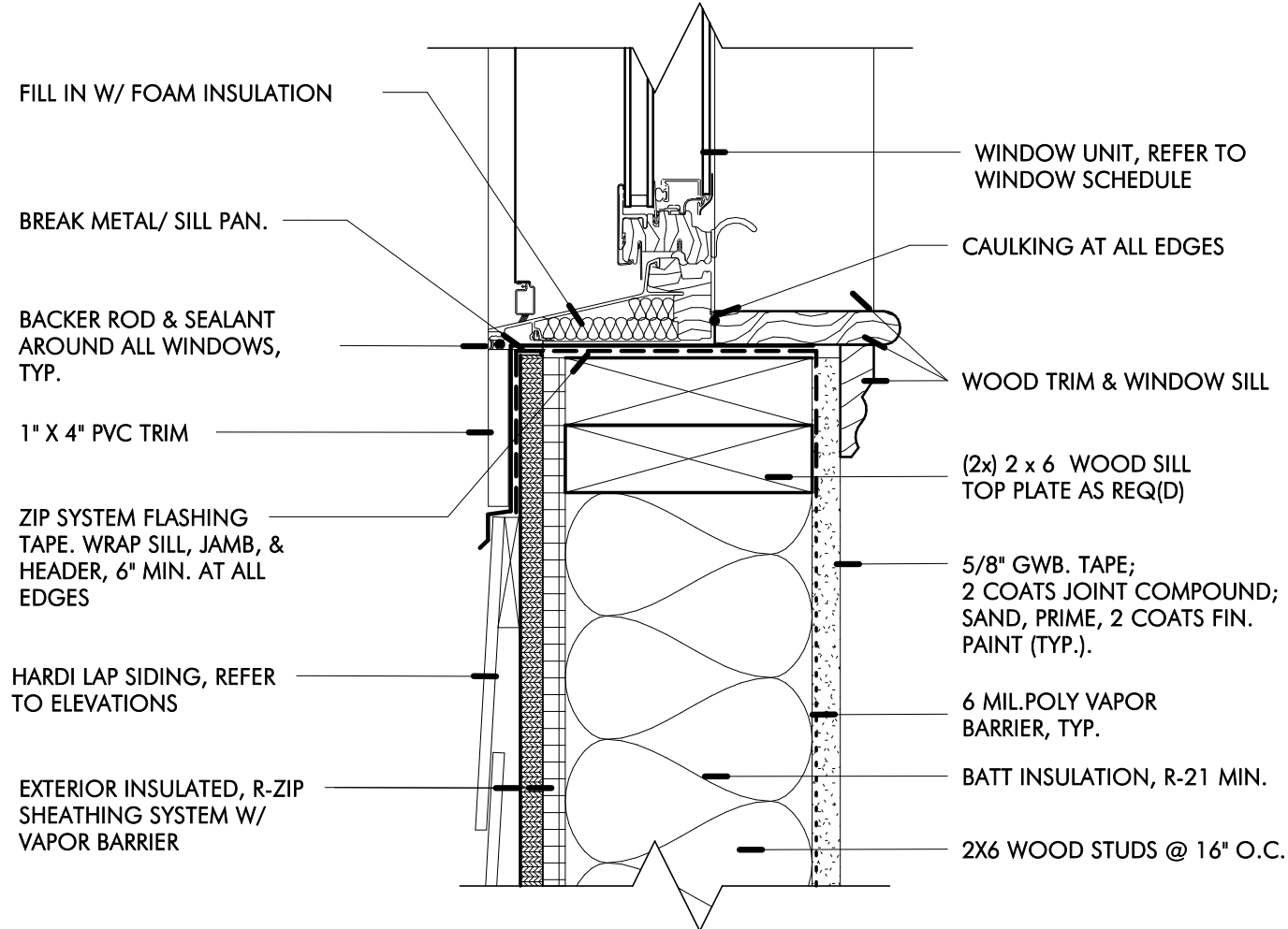
5 WINDOW HEAD DETAIL @ HARDI LAP SIDING

Scale: 3"=1'-0"



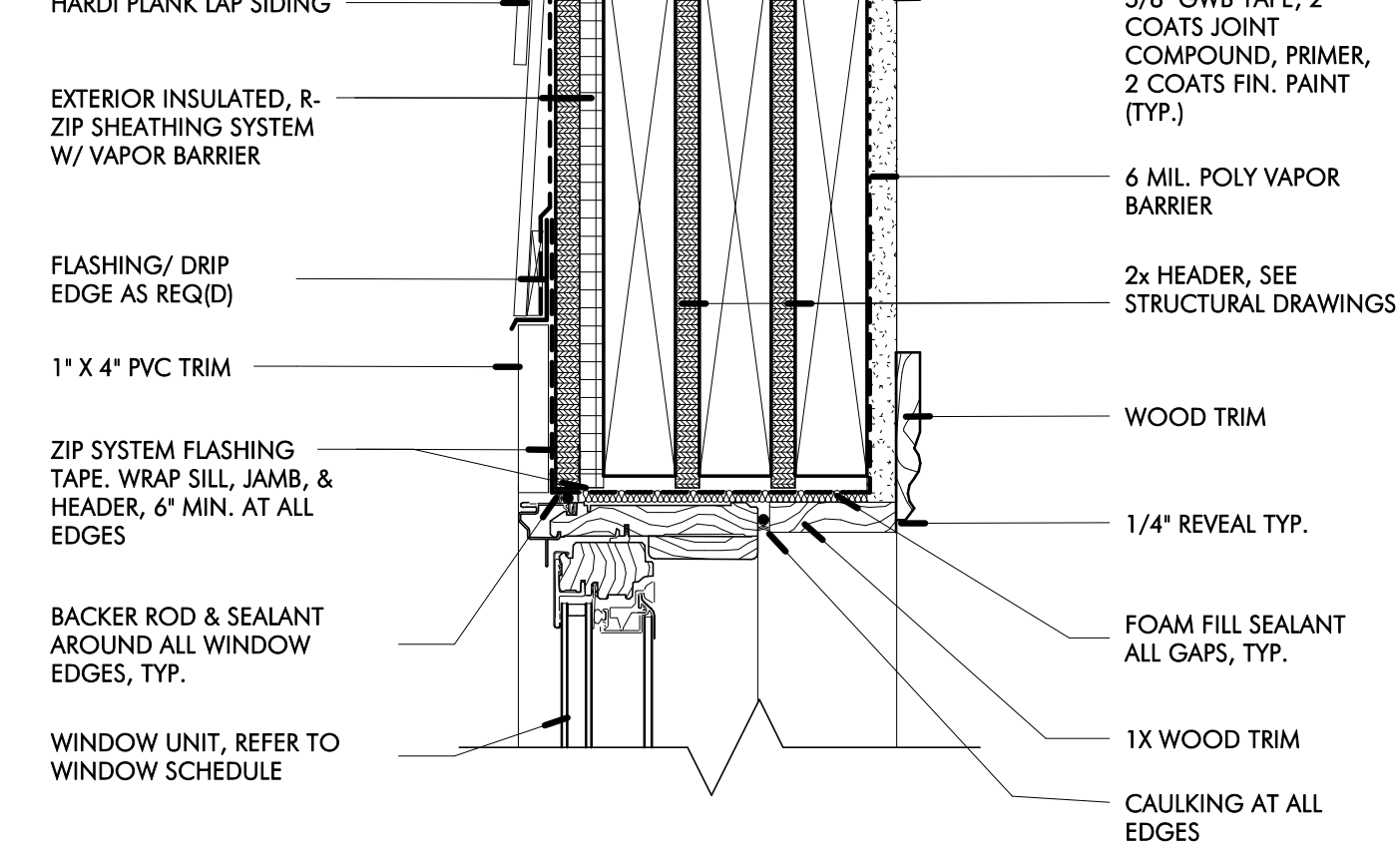
6 WINDOW JAMB DETAIL @ HARDI LAP SIDING

Scale: 3"=1'-0"



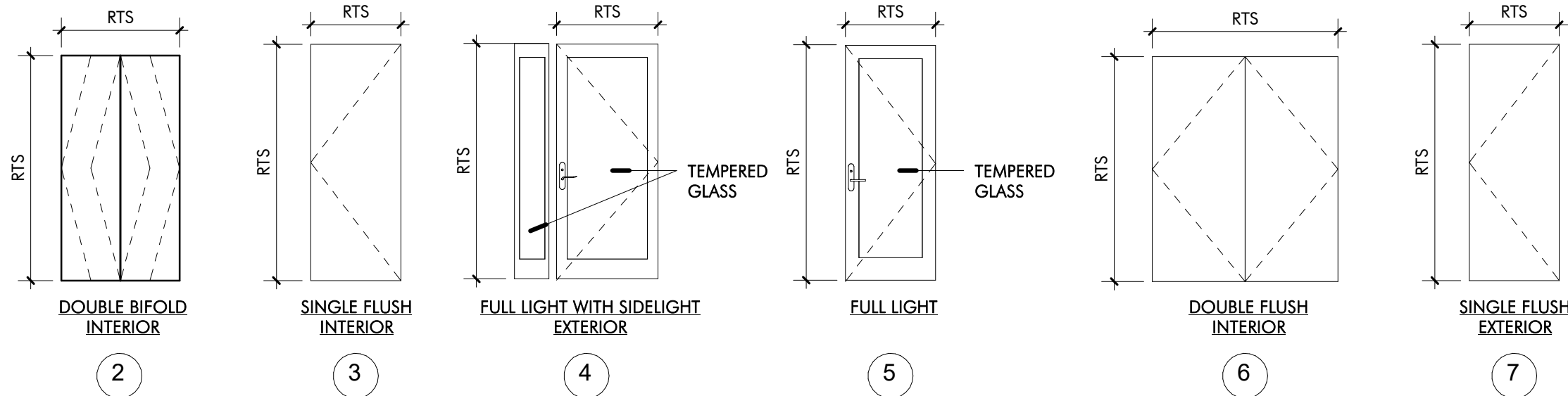
7 WINDOW SILL DETAIL @ HARDI LAP SIDING

Scale: 3"=1'-0"



- DOOR NOTES:
1. DOOR FINISH & STYLE TO BE DETERMINED BY OWNER.
 2. DOOR HARDWARE TO BE DETERMINED BY OWNER.
 3. SEE FLOOR PLANS FOR DIRECTION OF SWING.
 4. ALL GLASS IN DOORS AND SIDELITES TO BE TEMPERED.

DOOR TYPES

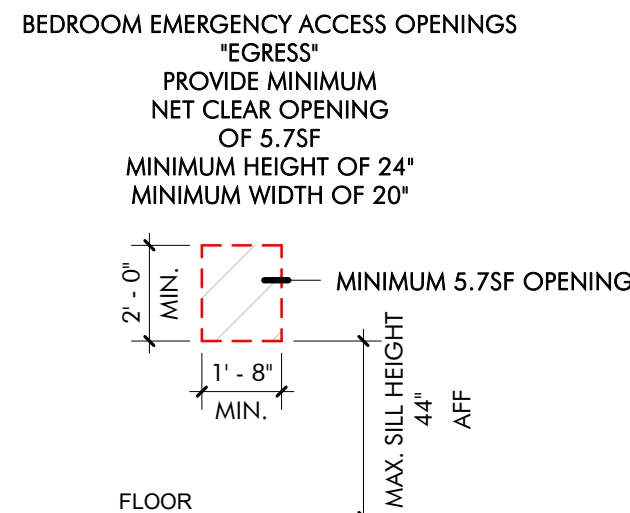
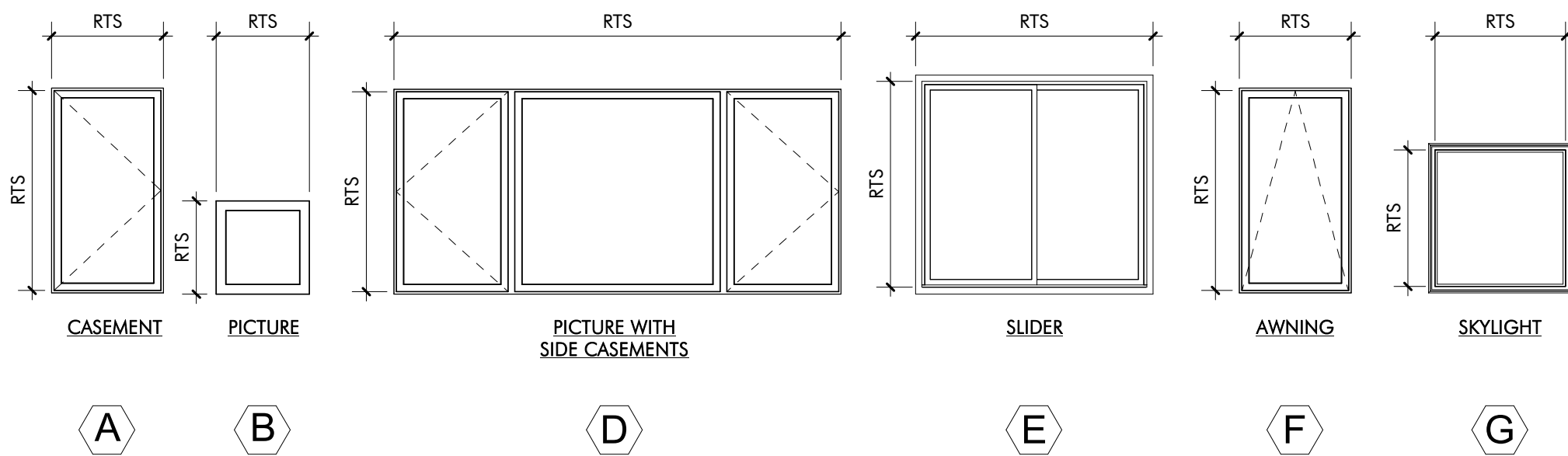


DOOR SCHEDULE

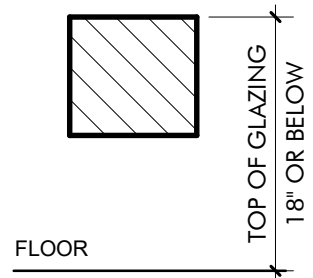
MARK	WIDTH	HEIGHT	DOOR ELEVATION	Function	SINGLE/DOUBLE	MANUFACTURER	COMMENTS
001.1	3' - 0"	6' - 8"	7	Exterior	SINGLE		
001.2	3' - 0"	6' - 8"	3	Interior	SINGLE		
101.1	3' - 0"	7' - 0"	4	Exterior	SINGLE		
101.2	2' - 6"	6' - 8"	3	Interior	SINGLE		
101.3	2' - 6"	6' - 8"	3	Interior	SINGLE		
102.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
102.2	2' - 4"	6' - 8"	3	Interior	SINGLE		
103.1	2' - 4"	6' - 8"	3	Interior	SINGLE		
106.1	3' - 0"	7' - 0"	4	Exterior	SINGLE		
108.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
109.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
109.2	4' - 8"	6' - 8"	2	Interior	DOUBLE		
110.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
110.2	4' - 8"	6' - 8"	2	Interior	DOUBLE		
111.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
112.1	3' - 0"	7' - 0"	5	Exterior	SINGLE		
113.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
113.2	2' - 6"	6' - 8"	3	Interior	SINGLE		
114.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
200.1	3' - 0"	7' - 0"	4	Exterior	SINGLE		
200.2	3' - 6"	6' - 8"	2	Interior	DOUBLE		
200.3	2' - 6"	6' - 8"	3	Interior	SINGLE		
201.1	3' - 0"	7' - 0"	4	Exterior	SINGLE		
201.2	2' - 0"	6' - 8"	3	Interior	SINGLE		
202.2	3' - 0"	7' - 0"	4	Exterior	SINGLE		
205.1	2' - 4"	6' - 8"	3	Interior	SINGLE		
206.1	2' - 4"	6' - 8"	3	Interior	SINGLE		
207.1	5' - 6"	6' - 8"	6	Interior	DOUBLE		
208.1	2' - 0"	6' - 8"	3	Interior	SINGLE		
209.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
209.2	4' - 0"	6' - 8"	2	Interior	DOUBLE		
209.3	2' - 4"	6' - 8"	3	Interior	SINGLE		
210.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
211.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
211.2	4' - 8"	6' - 8"	2	Interior	DOUBLE		
212.1	2' - 6"	6' - 8"	3	Interior	SINGLE		
212.2	4' - 8"	6' - 8"	2	Interior	DOUBLE		
Grand total: 37							

- WINDOW NOTES:
1. WINDOW MANUFACTURER TO BE SELECTED BY OWNER.
 2. CONTRACTOR TO VERIFY IF IMPACT RESISTANT GLASS IS REQUIRED PRIOR TO ORDERING OF WINDOWS.
 3. ALL BEDROOMS TO HAVE A WINDOW SIZED TO MEET EMERGENCY ESCAPE AND RESCUE OPENING MINIMUM SIZE AS SPECIFIED BY THE IRC 2015.
 4. CONTRACTOR TO VERIFY WITH SELECTED MANUFACTURER DATA AND SUBMIT TO ARCHITECT FOR REVIEW PRIOR TO ORDERING.
 5. CONTRACTOT TO VERIFY EXISTING WINDOW OPENING SIZES PRIOR TO OPENING.

WINDOW TYPES



TEMPERED GLASS REQUIRED FOR ALL GLAZING 18\"/>



WINDOW SCHEDULE

TYPE MARK	ELEVATION	TYPE	COUNT	MANUFACTURER	WIDTH	HEIGHT	COMMENTS
A.1			23	Andersen Corporation	3' - 0"	5' - 6'	
A.2	A		3	Andersen Corporation	6' - 0"	5' - 6'	
B.1	B		5	Andersen Corporation	4' - 0"	5' - 6'	
B.3	B		3	Andersen Corporation	2' - 6"	4' - 0"	
B.4	B		3	Andersen Corporation	3' - 0"	3' - 0"	
D.1	D		1	Andersen Corporation	12' - 0"	5' - 6'	
F.1	A		1	Andersen Corporation	6' - 0"	5' - 6'	
F.2	F		12	Andersen Corporation	3' - 0"	5' - 6'	
G	G		4	Andersen Corporation	2' - 4"	3' - 2"	PROVIDE STORMWATCH PROTECTION

ANDERSON
PORTER
DESIGN

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No.	Description	Date



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Project: 12 WOODBINE
Address: 12 WOODBINE ST
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Title: SCHEDULES AND DETAILS

Drawing Issued By: ANDERSON PORTER DESIGN

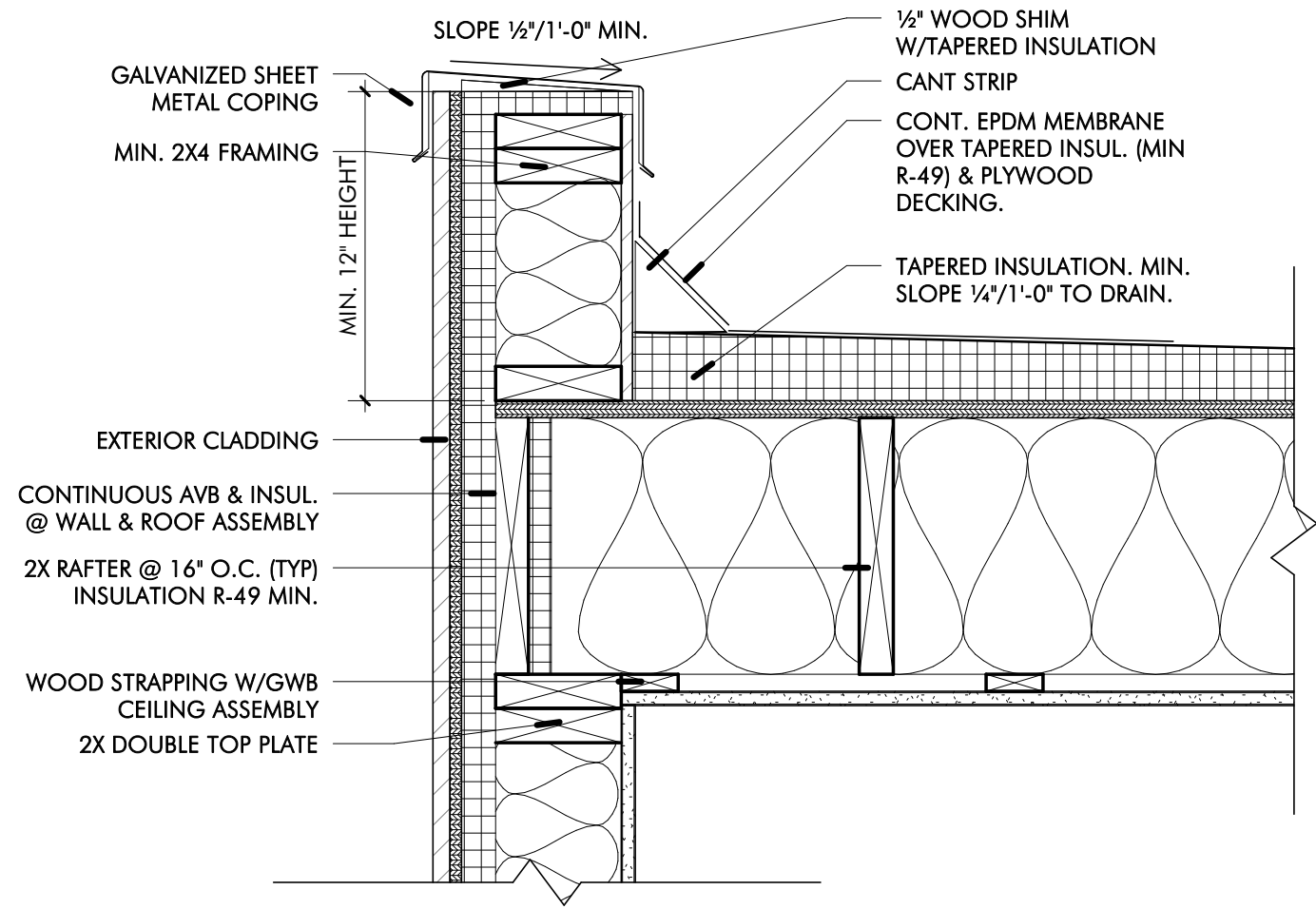
Project #: 2111 Drawn No.

Date: 2021.11.10

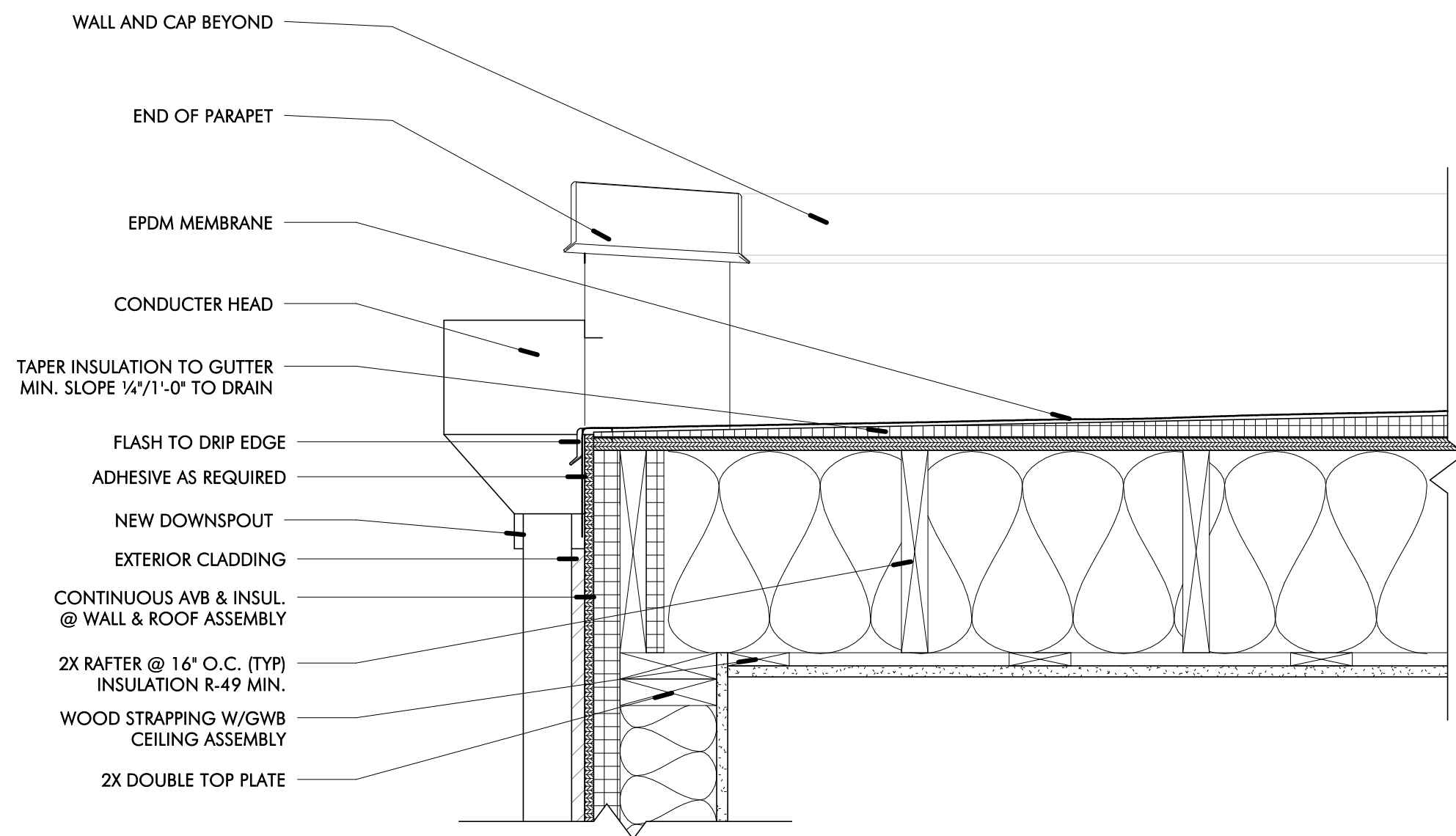
Scale: As indicated

Drawn by: DA/DS/KA

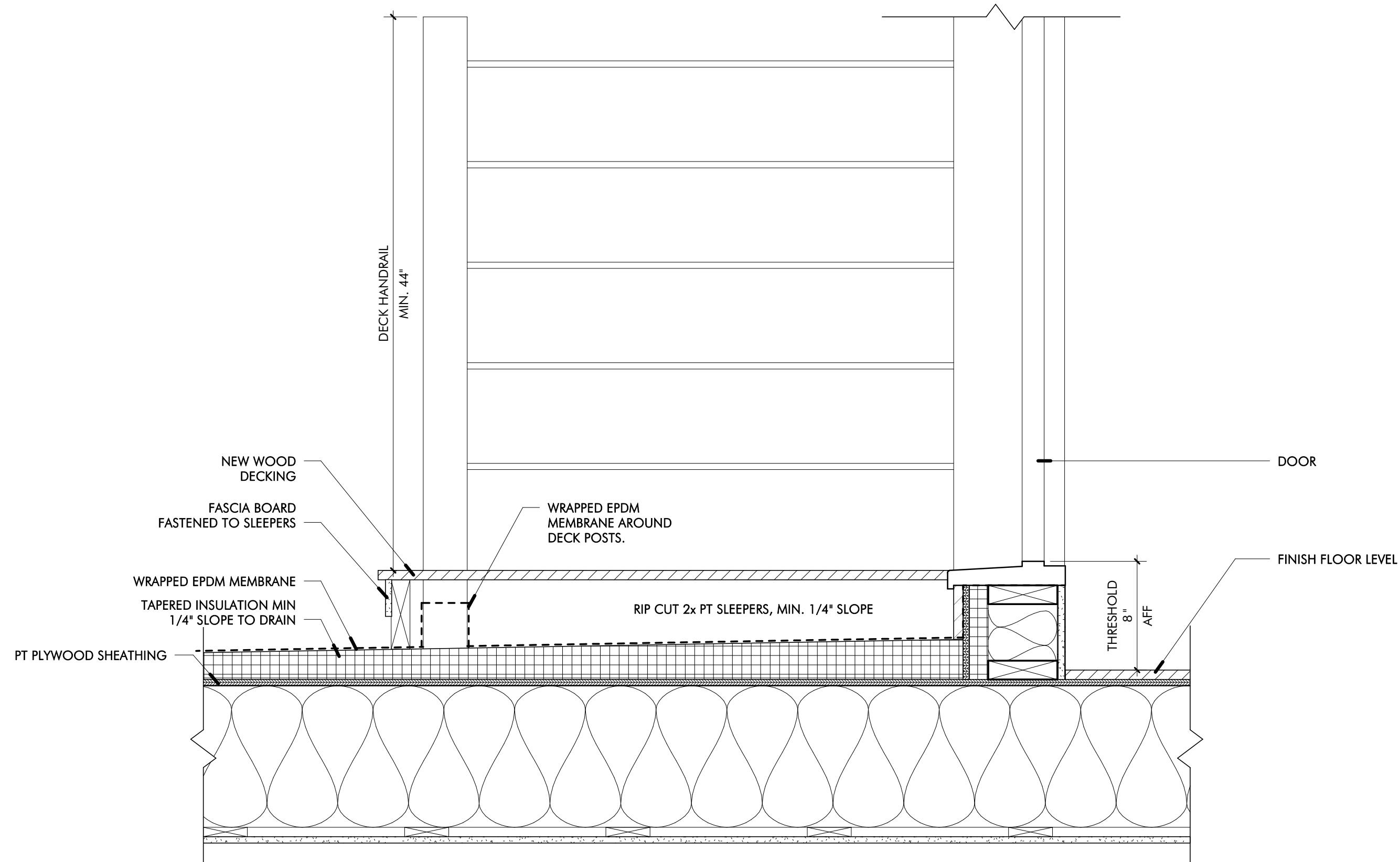
A5.1



2 PARAPET DETAIL
1 1/2" = 1'-0"

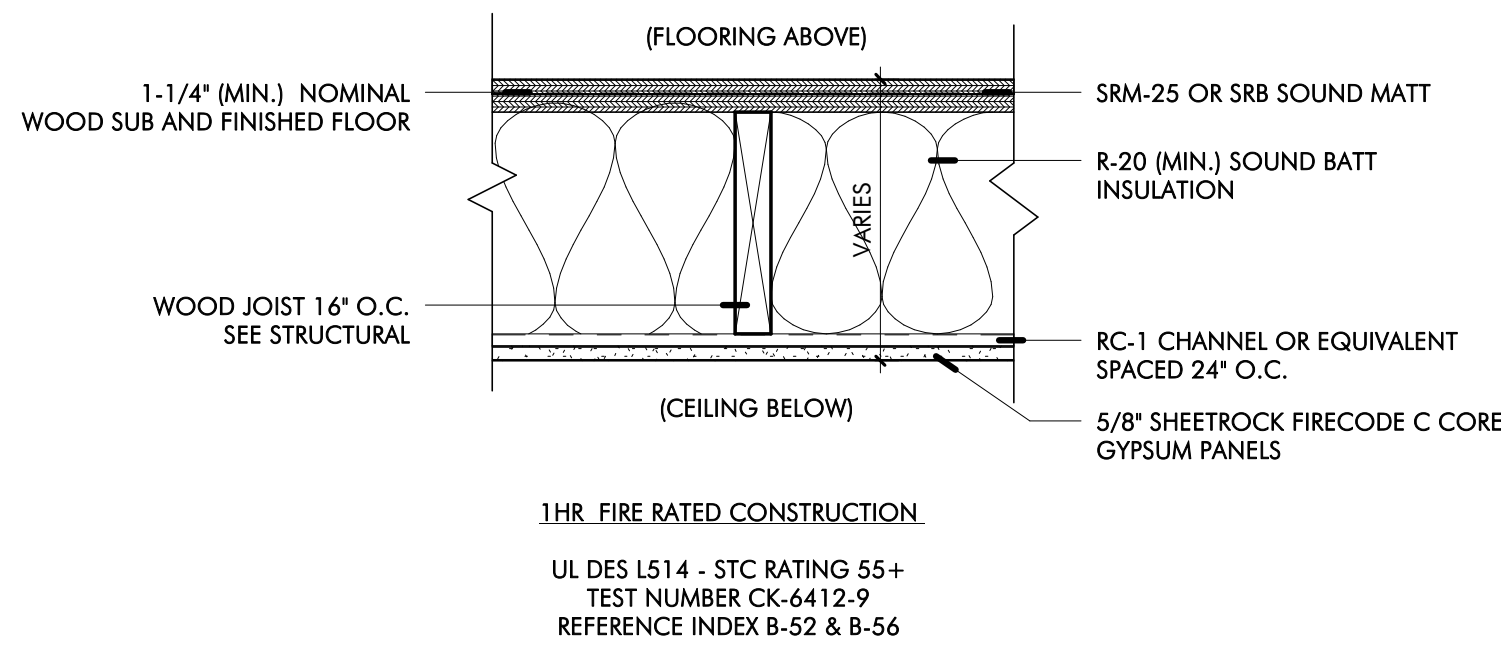


5 SCUPPER DETAIL
1 1/2" = 1'-0"

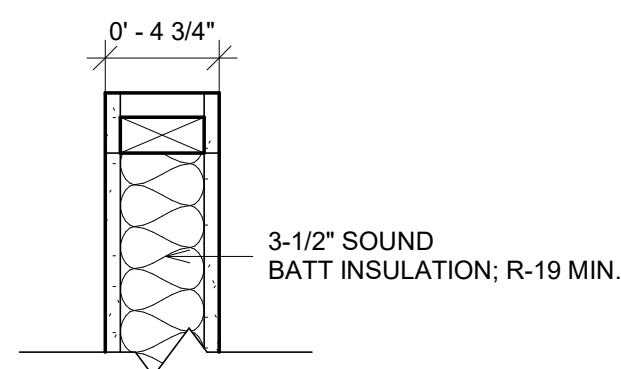


1 DECK OVER CONDITIONED SPACE (2)
1 1/2" = 1'-0"

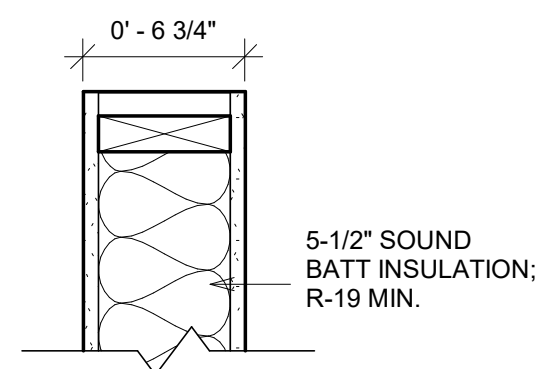
1-HOUR RATED FLOOR/CEILING ASSEMBLY



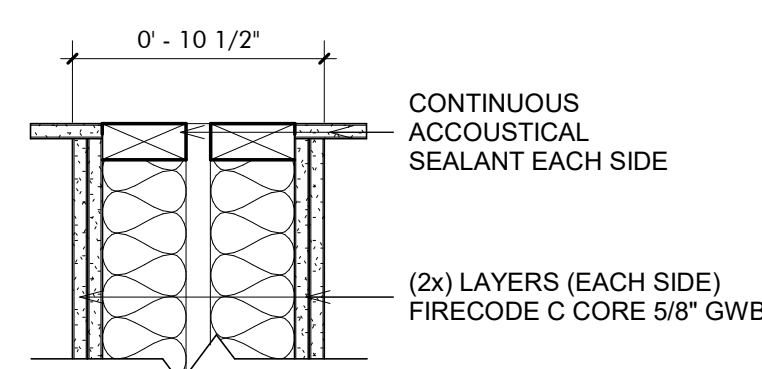
4 1-HR RATED FLOOR/CEILING
1 1/2" = 1'-0"



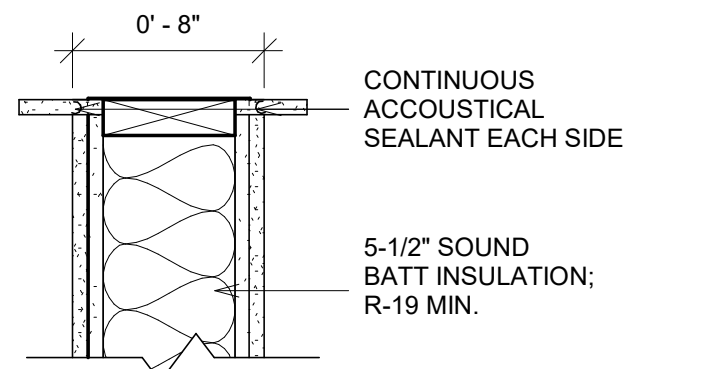
1
TYPE "1"
UNIT INTERIOR WALL



3
TYPE "3"
PLUMBING WALL



5
TYPE "5"
UNIT DEMISING WALL
(2-HR RATED - UL# U341)
(STC 64 - #RAL-TL-07-147)

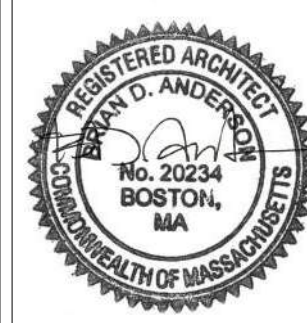


6
TYPE "6"
UNIT DEMISING WALL
(2-HR RATED - UL# U334)
(STC 62 - #USG-810219)

WALL DETAILS
1 1/2" = 1'-0"

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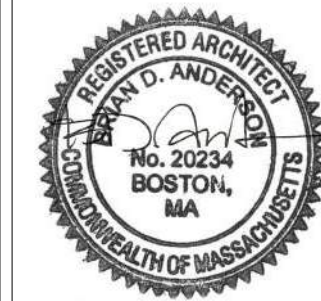
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Project: 12 WOODBINE
Address: 12 WOODBINE ST
SOMERVILLE, MA 02143
Title: DETAILS CONT.

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2111
Date: 2021.11.10
Scale: 1 1/2" = 1'-0"
Drawn by: DS

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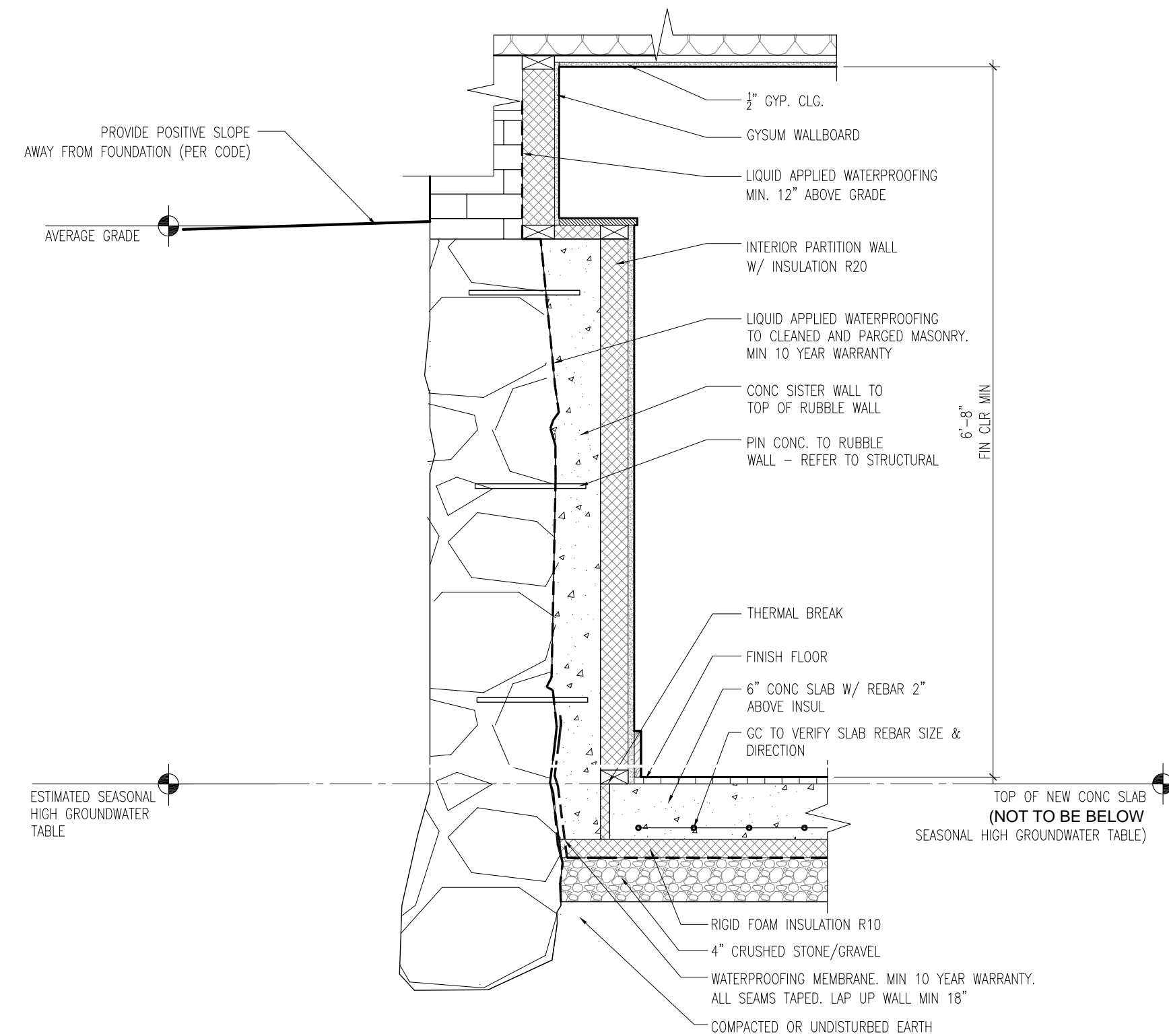
Project: 12 WOODBINE
Address: 12 WOODBINE ST
SOMERVILLE, MA 02143

Title: DETAILS CONT.

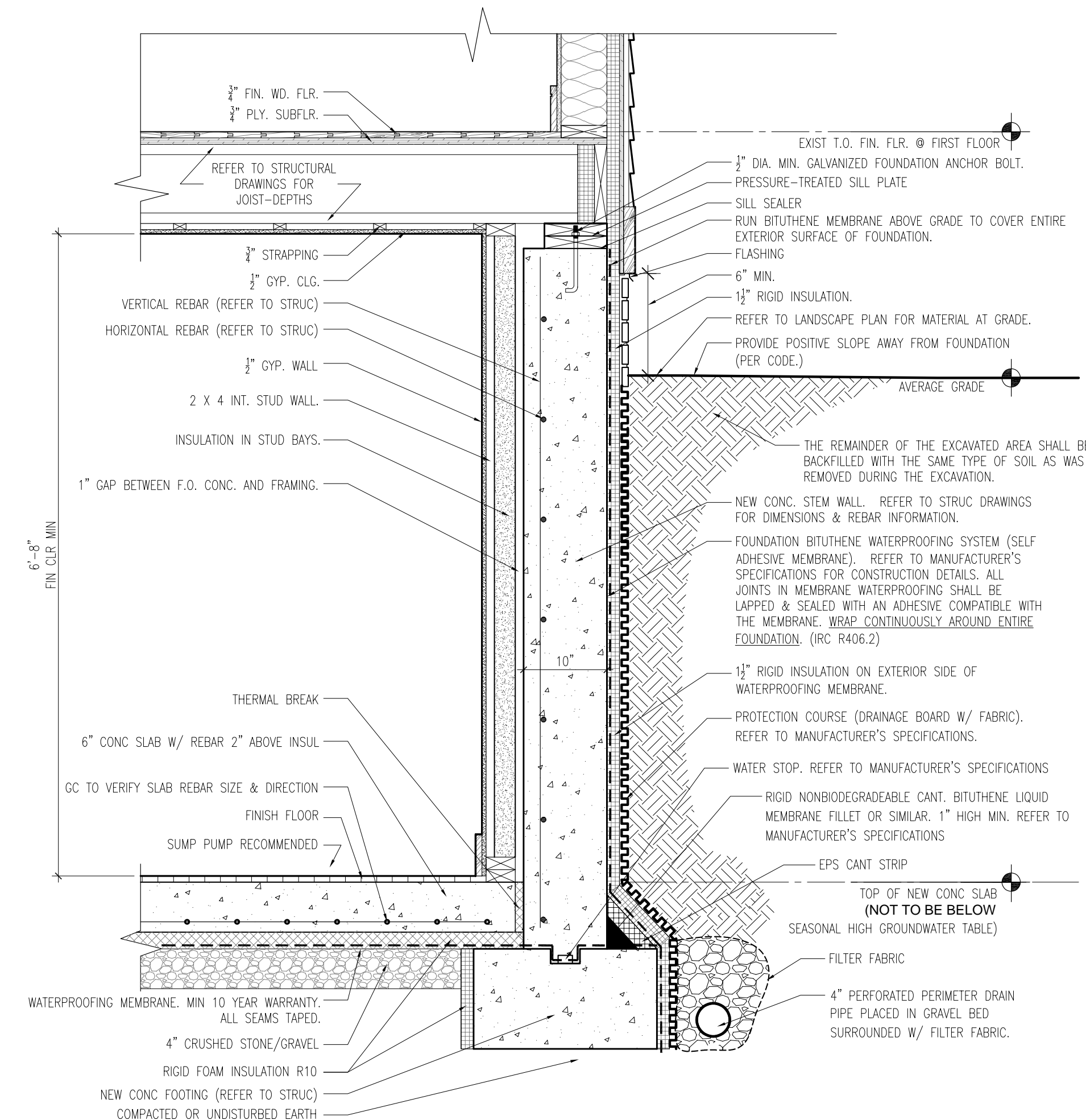
Drawing Issued By: ANDERSON PORTER DESIGN

Project #: 2111
Date: 2021.11.10
Scale: As indicated
Drawn by: DA/DS/KA

A5.3



1 SUBSTRUCTURE WATERPROOFING (FOR EXISTING FOUNDATION)
3" = 1'-0"



3 SUBSTRUCTURE WATERPROOFING (FOR NEW FOUNDATION)
3" = 1'-0"

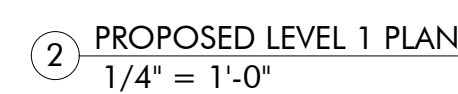
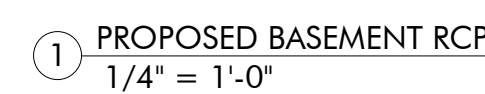
HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2 INCHES ON EITHER SIDE OF THE STAIRWAY. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAILS.








HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31-1/2 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE, AND 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.

NOSINGS AT TREADS, LANDINGS, AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS OF CURVATURE AT THE NOSING NOT GREATER THAN 9/16 INCH OR A BEVEL NOT GREATER THAN 1/2 INCH. A NOSING PROJECTION NOT LESS THAN 3/4 INCH AND NOT MORE THAN 1-1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH WITHIN A STAIRWAY.

1 IRC STAIR DETAIL
1 1/2" = 1'-0"



RCP LEGEND			
	EXHAUST CEILING FAN		CARBON MONOXIDE DETECTOR
	RECESSED LIGHTS		SMOKE DETECTOR
	PENDANT LIGHT		VANITY SCONCE
	EXTERIOR WALL SCONCE		

NOTES

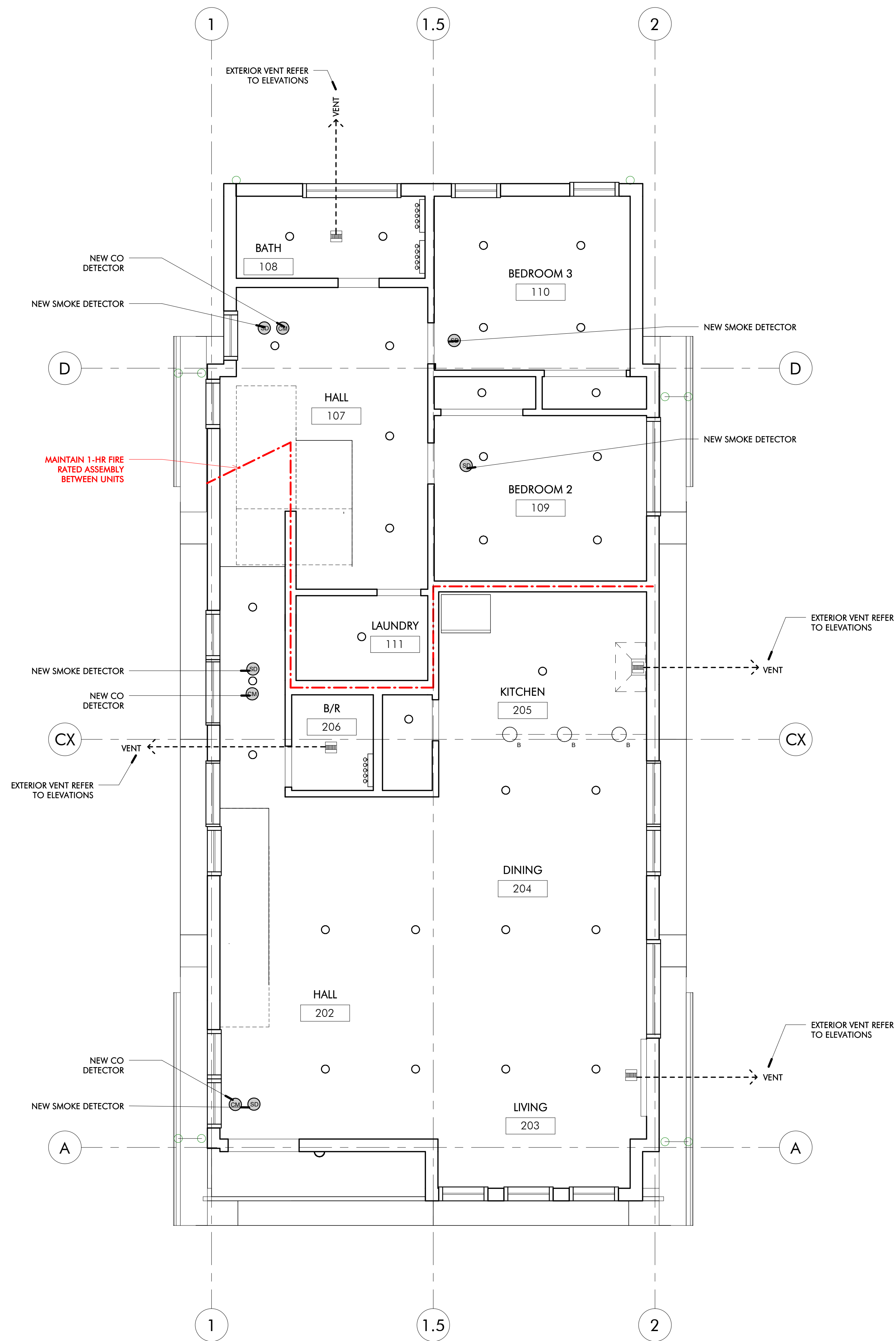
1. DETECTORS TO BE INTERCONNECTED & HARD WIRED.
2. SEE BUILDING SECTIONS FOR FLOOR/CEILING ASSEMBLY.

RCP LEGEND

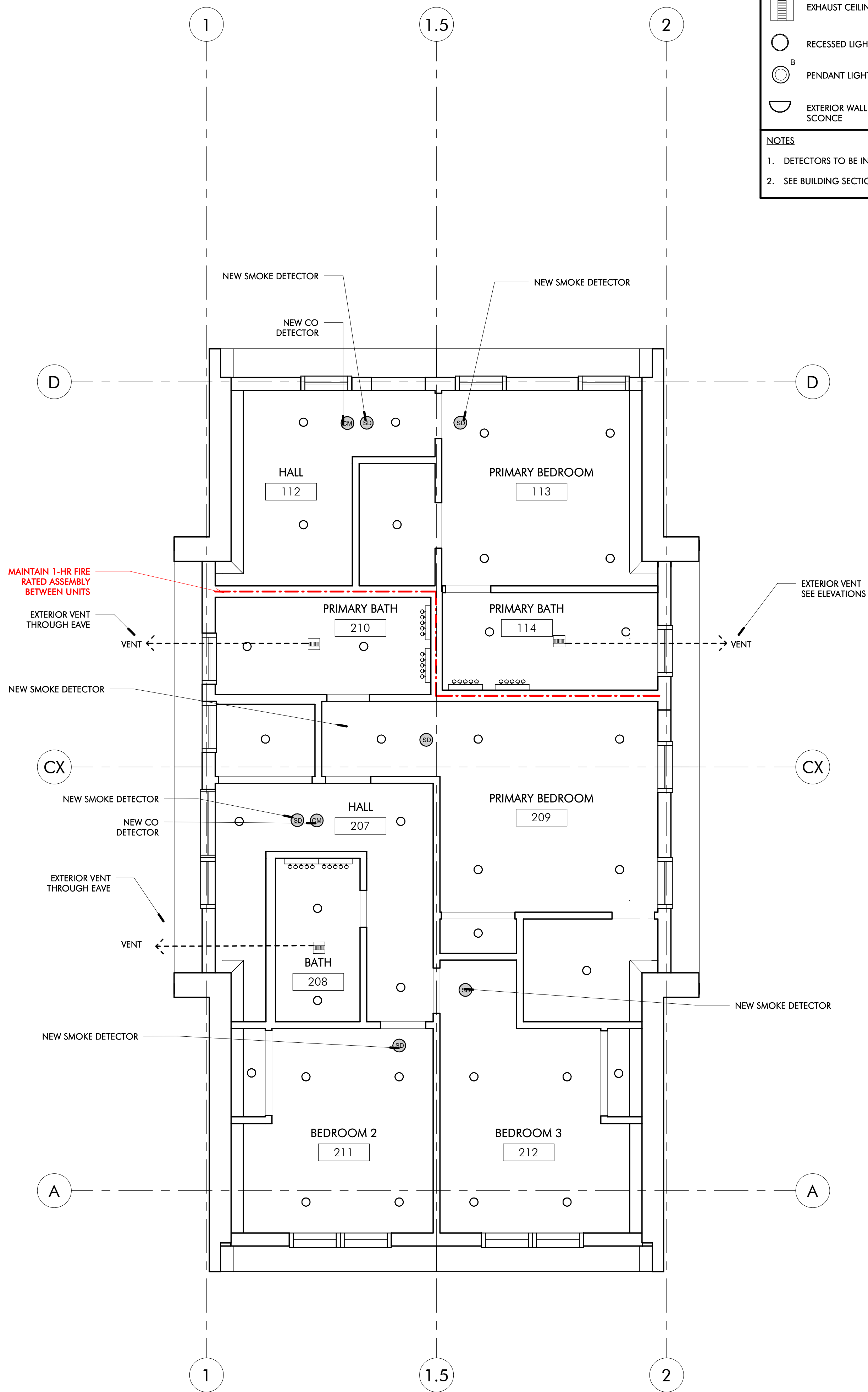
	EXHAUST CEILING FAN		CARBON MONOXIDE DETECTOR
	RECESSED LIGHTS		SMOKE DETECTOR
	PENDANT LIGHT		VANITY SCONCE
	EXTERIOR WALL SCONCE		

NOTES

- DETECTORS TO BE INTERCONNECTED & HARD WIRED.
- SEE BUILDING SECTIONS FOR FLOOR/CEILING ASSEMBLY.



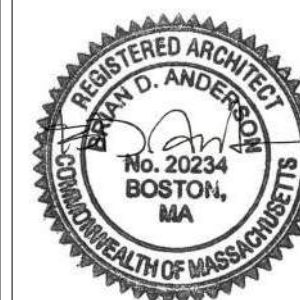
1 PROPOSED LEVEL 2 RCP
1/4" = 1'-0"



2 PROPOSED LEVEL 3 RCP
1/4" = 1'-0"

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Project: 12 WOODBINE
Address: 12 WOODBINE ST
SOMERVILLE, MA 02143
Title: REFLECTED CEILING PLANS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2111
Date: 2021.11.10
Scale: As indicated
Drawn by: GA

A8.2